



WELGEVONDEN HOME OWNERS' ASSOCIATION
ARCHITECTURAL DIRECTIVES
AND
DESIGN GUIDELINES
for
WELGEVONDEN ESTATE, STELLENBOSCH
(WHOA AD&DG)

**Including Control Measures to regulate the
Preparation and Processing of Building Plans**

Version 10, 24 November 2025

To be read with the:

WHOA Constitution Version 9, 24 November 2025

WHOA Estate Rules Version 5, 24 November 2025

*WHOA Control Measures to Regulate the Performance of Services and Building Work
Version 3, 24 November 2025*

Note:

Amendments are recorded in the Schedule of Amendments at the end of this document.

*Made by the WHOA under clause 7.1.2, read with clause 59 and 59A of the
WHOA Constitution*

This version of the WHOA AD&DG replaces all previous versions.

CONTENTS

1.0	Introduction.....	4
1.0A	Definitions	4
1.1	General	4
1.2	Building Plans.....	4
1.2A	Sketch Plans	5
1.3	Review Architect.....	5
1.4	Disagreement or Dispute concerning Interpretation.....	6
1.5	Relaxation of, Deviation from, Architectural Directives and Design Guidelines	6
2.0	General Control Measures	6
2.1	Preparation of Building Plans	6
2.2	Restrictions	6
3.0	Building Plan Approval Procedure	7
3.1	Format of Building Plans	7
3.2	Processing of Building Plans	7
3.3	Submission to Stellenbosch Municipality	8
3.4	Omitted	8
3.5	Prior to Commencement of Building Work	8
3.6	Deviation of, or Variation from, Approved Building Plans	8
4.0	Control of Building Work.....	8
5.0	Architectural Style and Elements	9
5.1	Building Form.....	11
5.1.1	Core Building	11
5.1.2	Abutments	11
5.2	Building Platform	12
5.2.1	Slopes	12
5.2.2	Directives for Buildings on Slopes.....	12
5.2.3	Retaining Structures.....	13
5.3	Roofs	13
5.3.1	General	13
5.3.2	Roof Finishes.....	14
5.3.3	Fascias and Bargeboards.....	15
5.3.4	Gutters and Rainwater Downpipes.....	15
5.4	External Masonry Wall Finishes	16
5.4.1	Exterior Wall Colour Selection.....	16
5.5	Windows, Doors and Shutters.....	19
5.5.1	Exterior Colours for Windows, Doors and Shutters.....	20
5.6	External Windowsills.....	21
5.7	Garages and Carports.....	21
5.8	Verandas, Pergolas, Columns, Corner Brackets, Balconies and Balustrades.....	22
5.8.1	Verandas, Pergolas and Columns	22
5.8.2	Corner Brackets.....	23
5.8.3	Balconies	23
5.8.4	Balustrading.....	24
5.9	Linking Elements	25

5.10	Boundary Walls and Gates	25
5.10.1	Boundary Walls.....	25
5.10.2	Gates	26
5.11	Hard Landscaping – Paving and Driveways.....	27
5.11A	Conversion of Garages.....	27
5.12	Soft Landscaping – Planting	27
5.12.1	General	27
5.12.2	Irrigation	28
5.12.3	Compost, Fertilisers, Herbicides and Pesticides	28
5.12.4	Maintenance.....	29
5.13	Service Facilities / Aerials / Satellite Dishes / Pipes and Cables / Screening	29
5.14	Miscellaneous and General	30
5.15	Privacy and Noise.....	32
5.15.1	Visual Privacy	32
5.15.2	Noise.....	32
6.0	Planning Guidelines	33
6.1	Zoning.....	33
6.2	Building Lines	33
6.2.1	Group Housing (excluding Town Housing)	33
6.2.2	Other Categories of Zoning	34
6.3	Building Height Restriction	34
6.3.1	Group Housing (including Town Housing)	34
6.3.2	Other Categories of Zoning	34
6.3.3	Definition of “Storey”.....	34
6.4	Coverage	35
6.4.1	Group Housing (including Town Housing)	35
6.4.2	Other Categories of Zoning	35
7.0	Project 12 – Specific Guidelines for Erven Adjacent to Weltevreden Farm	35
8.0	Omitted.....	35
9.0	Future Alterations and Additions	35
	Schedule of Amendments.....	37

1.0 INTRODUCTION

1.0A DEFINITIONS

In the interpretation of this Architectural Directives and Design Guidelines, unless the context otherwise indicates –

- 1.0A.1 “Building plan” means design drawings and specifications that need to be submitted electronically for the approval of any building work on the Estate as defined in clause 70 of *the Welgevonden Home Owners’ Association (WHOA) Constitution*¹.
- 1.0A.2 “Excom” means the executive committee of the Association contemplated in clause 8 of the *WHOA Constitution*².
- 1.0A.3 “Prescribed fee as per Control Measures” refers to the approved fee determined from time to time by Excom under the *WHOA Constitution*, more specific clause 7.1.2³.
- 1.0A.4 “Review Architect” refers to a service provider appointed by the Association in–terms of its powers under the *WHOA Constitution* to, on its behalf, process building plans for aesthetic approval in compliance with the applicable architectural directives and design guidelines.
- 1.0A.5 “Estate office” refers to the administrative office of the Association located at the Main Entrance, R44 Gate, Welgevonden Estate.
- 1.0A.6 “the Association” means the Welgevonden Home Owners’ Association as defined in clause 3¹⁰ of the *WHOA Constitution*.
- 1.0A.7 “the Estate” means “Welgevonden Estate”

1.1 General

1.2 Building Plans

The *WHOA Constitution* requires an owner to submit electronic building plans for work on her/his erf to Excom for examination and approval prior to the electronic submission of such plans to the Stellenbosch Municipality for approval. The aim of this examination is to ensure that the architectural directives and design guidelines for the Estate are complied with.

Electronic building plans need to be submitted for the construction of a new dwelling, or for additions to, or the alteration or renovation affecting the exterior aesthetic appearance of, an existing dwelling, or for the erection of a pergola, fence, boundary wall, retaining wall, or the laying of paving.

No hard copy (paper) building plans will be accepted.

Validity of Association Approval

The Association’s approval of building plans will be valid for a period of 12 (twelve) months from the date of the approval stamp for submission to the Stellenbosch Municipality. If plans have not been submitted to the SM within the 12 (twelve) months after approval, homeowners must resubmit the plans for approval to the

¹ See Clause 70 *WHOA Constitution* – Submission of Building Plans

² See Clause 8 *WHOA Constitution* – Constitution and Function of Excom

³ See Clause 7.1.2 *WHOA Constitution* – Powers of Association

Association.

1.2A Sketch Plans

For minor alterations that do not require building plans for municipal approval, Excom may in its discretion accept sketch plans in electronic format. It will be the responsibility of the Review Architect to confirm with the Stellenbosch Municipality if approval will be required. Should such sketch plans in the discretion of Excom not contain sufficient information for it to take a decision on the proposed alterations, it may require the owner to provide more information, including complete building plans.

The approval procedure, general control measures, and directives and guidelines applicable to building plans also apply to sketch plans, with the necessary changes.

All sketch plans must be submitted in electronic format to the Estate office for the attention of the Review Architect. No hard copy (paper) sketch plans shall be accepted.

1.3 Review Architect

Excom has in terms of its powers under the *WHOA Constitution* appointed a service provider (the Review Architect) on its behalf to process building plans for aesthetic approval in compliance with the applicable architectural directives and design guidelines.

The Review Architect must examine the building plans for aesthetic approval and to this end may interpret the architectural directives and design guidelines. If in the Review Architect's opinion, a relaxation of, or a deviation from, a particular architectural directive or design guideline requested by an owner is warranted or not warranted, a motivated recommendation to that effect must be made in writing by the owner or her/his agent to Excom. Should the Review Architect not approve the building plans, the owner concerned must be furnished with reasons for the decision in writing.⁴

Once the Review Architect is satisfied that the building plans comply with the architectural directives and design guidelines, same must be forwarded to the Estate office under cover of a letter indicating aesthetic approval.

If a particular architectural directive or design guideline is unclear, the Review Architect may make a motivated recommendation in writing to Excom on an appropriate interpretation thereof that will allow its fair and uniform application.⁵

1.4 Disagreement or Dispute concerning Interpretation

Any disagreement or dispute concerning the interpretation of the architectural directives and design guidelines must be dealt with in terms of the dispute resolution procedure provided for in the *WHOA Constitution*.

1.5 Relaxation of, Deviation from, Architectural Directives and Design Guidelines

The *WHOA Constitution* empowers Excom on good cause shown in a particular instance to relax, or deviate from, an architectural directive or design guideline if in

⁴ See Par 1.4 (Disagreement ...)

⁵ See Par 1.5 (Relaxation of ...)

its sole discretion special circumstances warrant such relaxation or deviation.

If in Excom's discretion relaxation or deviation is warranted and accordingly will be allowed, it must indicate this in a letter addressed to the Stellenbosch Municipality, which letter must accompany the signed as approved building plans submitted to-the Municipality by the owner.

In terms of clause 61A.3 of the *WHOA Constitution* any relaxation or deviation allowed by Excom must be reported to owners at the next ensuing annual general meeting of the Association.

The *WHOA Constitution* further provides that such relaxation or deviation does not constitute an amendment or repeal of the directive or guideline concerned as any universal changes to the directives and guidelines may be effected only by owners in general meeting.

2.0 GENERAL CONTROL MEASURES

2.1 Preparation of Building Plans

- 1) The design of all structures and the preparation and submission of building plans may only be undertaken, prepared, and submitted by professionals registered with the South African Council for the Architectural Profession (SACAP). A valid and current Proof of Registration with SACAP must accompany every submission. Building plans of inferior design or submitted by unregistered professionals, will be rejected.
 - 1A) Sketch plans must be prepared by a registered professional to scale, and no hand sketches will be accepted.
 - 2) Building plans and design drawings must –
 - a) be prepared in accordance with the architectural directives and design guidelines for the Estate; and
 - b) comply with the municipal and national building regulations (SANS 10400) and any other applicable legislation.
 - c) Building plans shall only be submitted in electronic format. No hard copy plans shall be accepted.

2.2 Restrictions

- 1) The restrictions that may apply to the Estate are in addition to any restrictions imposed in terms of the conditions of title to any erf or town-planning scheme or national or other building regulations.
- 2) Compliance with these architectural directives and design guidelines and approval of building plans by the Review Architect does not absolve the owner from complying with, and may not be construed as permitting, any contravention of –
 - a) the conditions of title to any erf; or
 - b) any restrictions imposed by the Stellenbosch Municipality or any other competent authority; or
 - c) any applicable zoning, by-law or regulation of the Stellenbosch Municipality or any other competent authority.

3.0 BUILDING PLAN APPROVAL PROCEDURE

3.1 Format of Building Plans

- 1) **Omitted**
- 2) An electronic copy of the building plan must be submitted in PDF format via e-mail or a storage device / facility to the Estate office.
- 3) Approved submissions will be electronically stamped by the Estate office once aesthetically approved. The Estate office will issue a Letter of Approval to accompany the submission to the Stellenbosch Municipality.
- 4) **Omitted**
- 5) **Omitted**

3.2 Processing of Building Plans

- 1) Building plans will be processed only upon payment of the applicable building plan examination and approval fee determined from time to time by Excom under the *WFOA Constitution*.
- 1A) The Estate office will issue an invoice for the applicable plan examination and approval fee to the owner. No review of the submitted plans will take place unless payment is received.
- 2) **Omitted**
- 3) **Omitted**
- 4) If the Review Architect is satisfied that the building plans comply with the *WFOA Architectural Directives and Design Guidelines*, same must be forwarded electronically to the Estate office indicating that the plans are aesthetically approved.
- 4A) Upon electronic receipt of the building plans and covering memorandum from the Review Architect, the Estate Manager / Estate office must on behalf of Excom stamp and sign the building plans as approved electronically, and e-mail it to the owner, informing her/him that the plans may be submitted electronically to the Stellenbosch Municipality.
- 5) Notwithstanding that the building plans may comply with all applicable restrictions, zoning, regulations and by-laws of the Stellenbosch Municipality and any other competent authority, the Review Architect, after consultation with Excom, as deemed necessary, may withhold aesthetic approval if the plans do not comply with the prescribed architectural directives and design guidelines: Provided that the approval of such plans shall not unreasonably be withheld.⁶
- 6) **Omitted**
- 7) **Omitted**

3.3 Submission to Stellenbosch Municipality

- 1) Only after confirmation of aesthetic approval has been obtained may the building plans be submitted to the Stellenbosch Municipality for its approval.
- 1A) Building plans submitted electronically to the Stellenbosch Municipality must be

⁶ See Par 1.4 (Disagreement ...)

accompanied by electronic confirmation indicating Excom's willingness to allow any relaxation or deviation proposed, if applicable.

- 2) The final approval of all building plans ultimately vests in the Stellenbosch Municipality.
- 3) An electronic copy of the approved submission drawings must be submitted together with the Stellenbosch Municipality's electronic approval notice to the Estate office.
- 4) Any proposed deviation from the approved submission will require updated drawings to be submitted electronically for approval by the Review Architect and the Stellenbosch Municipality, prior to construction or implementation on site.
- 5) The deviation or variation may be implemented on site only if approved in writing by the Review Architect.

3.4 Omitted – instruction to have a copy of approved building plans on the building site, is relocated to the "*Control Measures to Regulate the Performance of Services and Building Work*".⁷

3.5 Prior to Commencement of Building Work

- 1) Building work may not commence before payment of the applicable building deposit determined from time to time by Excom under the *WHOA Constitution*.
- 2) **Omitted** – building instruction relocated to the "*Control Measures to Regulate the Performance of Services and Building Work*".⁸

3.6 Deviation of, or Variation from, Approved Building Plans

Rectification of any exterior elements, colours and materials not complying with the architectural directives and design guidelines and implemented on site without the prior written approval by the Review Architect and/or the Estate Manager, as applicable, will be for the account of the contractor and/or owner concerned.

4.0 CONTROL OF BUILDING WORK

- a) It is the responsibility of the owner to ensure that the building contractor appointed by her/him is made aware of, and abides by, the provisions of the *Control Measures to Regulate the Performance of Services and Building Work*.
- b) No deviations from, or variations of, the aesthetically approved plans and finishes, or from any of the items approved by the Review Architect, may be implemented on site without the prior written approval of the Review Architect, electronically signed and stamped by the Estate Manager, as applicable, or, if required, the Stellenbosch Municipality.
- c) No new building work shall be allowed, or structures to be erected on erven without prior approval of building plans by the Association, and – if approved by the Association and where required – the subsequent approval of the Stellenbosch Municipality.
- d) The owner of an erf will be held liable for any damages to Association property or any property of the surrounding neighbours.

⁷ See Clause 59A, *WHOA Constitution*

⁸ See Clause 59A, *WHOA Constitution*

- e) Where required, surrounding neighbours should, upon request from the neighbouring owner, allow the contractor, controlled, reasonable access onto their property to complete the building works.

Note: Breach of this rule will be penalised i.t.o. the *WHOA Control Measures to Regulate the Performance of Services and Building Work, Control Measure 7.2.*

5.0 ARCHITECTURAL STYLE AND ELEMENTS

To achieve the objectives as described in the introduction to these architectural directives and design guidelines, designs derived from regional Cape architecture that are in harmony with, and complement, the local vernacular of Stellenbosch are preferred. However, regional Cape architecture i.e. "Cape Dutch", "Cape Victorian" or "Cape dorps huis architecture" in its pure traditional form is not suitable as it is proposed that a style of architecture unique to the Estate in which traditional Cape proportions, architectural elements and colours feature, be promoted.

Exclusions:

Cape Dutch, Victorian or Georgian replicas

Mediterranean / Spanish Style Architecture

Post Modern Elements

Preferential use of horizontal proportions as prevalent in Modern Architecture

Please note that the list of exclusions is not exhaustive and should there be any matters not covered in these architectural directives and design guidelines, and in the event of any difference in the interpretation of these architectural directives and design guidelines, the decision of Excom will be final and binding, subject to any dispute being decided in the favour of the applicant.

The following sketches (refer to Figures 1 – 4 below) are illustrative of the "Welgevonden Architectural Language" and "spirit of place" promoted in the Estate.



Figure 1: Illustration of homogenous architectural language, landscaping elements and typical courtyard formed by linking buildings together to achieve edge continuity. The urban design principle of integrated bridging is illustrated by the "poort" over the road that links buildings and defines the street edge.



Figure 2: Architectural Language illustrating "spirit of place".



Figure 3: Illustration of typical courtyard and homogenous building and landscaping elements.



Figure 4: Illustration of typical street elevation illustrating edge continuity with pedestrian "poort" used as linking element.

5.1 BUILDING FORM

Building form consists of the main building structure, which is referred to as the **core building**.

Secondary building structures are referred to as **abutments** to the **core building**.

5.1.1 CORE BUILDING

- The **core building** must conform to the traditional "letter of the alphabet" building form. In this particular typology, the plan form of the **core building** resembles the letters **I, T, L, H, U** or variations thereof. The latter constitutes the main body of the buildings on an erf (refer to **Figure 5.1**).
- Core buildings** must be roofed with a double-pitched roof.
- Rectangular sections of the **core building must** be built perpendicular to each other. **No** variation on this condition will be considered.

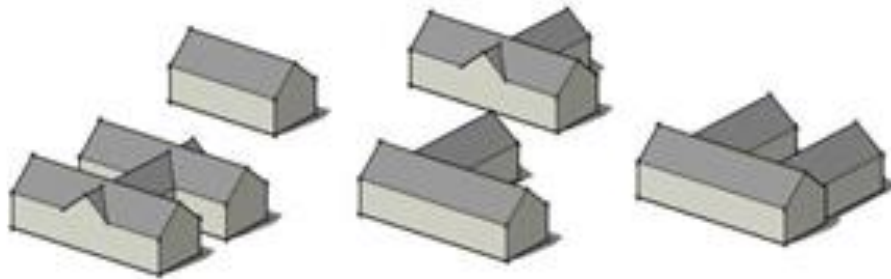


Figure 5.1: Letter of the alphabet type buildings

5.1.2 ABUTMENTS

- An **abutment** (secondary building linking to a **core building**) must be rectangular in shape, and linked perpendicular to a **core building** structure, below the wall plate height of such **core building**, in order not to affect in any way the roof and shape of the **core building**. The **abutment** may further be no more than two-thirds ($\frac{2}{3}$ rd) of the width of the **core building** it links to, nor longer than two-thirds ($\frac{2}{3}$ rd) of the length of that **core building**. – *Except where the **abutment** is a garage or carport (where the increased length or width will be considered and interpreted by the Review Architect)* – (refer to **Figure 5.2**)
- Any face of such **abutment** may further not end flush with any face of the **core building** shape, and **must** be set back or proud of the **core building** face by at least 230 mm – *Except where this face is on a **shared 0** (zero) m building line* – (refer to **Figure 5.2**)
- The **abutment** must have a "flat" roof (concrete or approved sheeting to fall), which **must** be hidden from all sides behind a parapet wall.
- No "stepped" **abutments** will be allowed, only simple rectangular shapes.
- Double storey **abutments** will be limited to **5,0%** of the **erf** area.

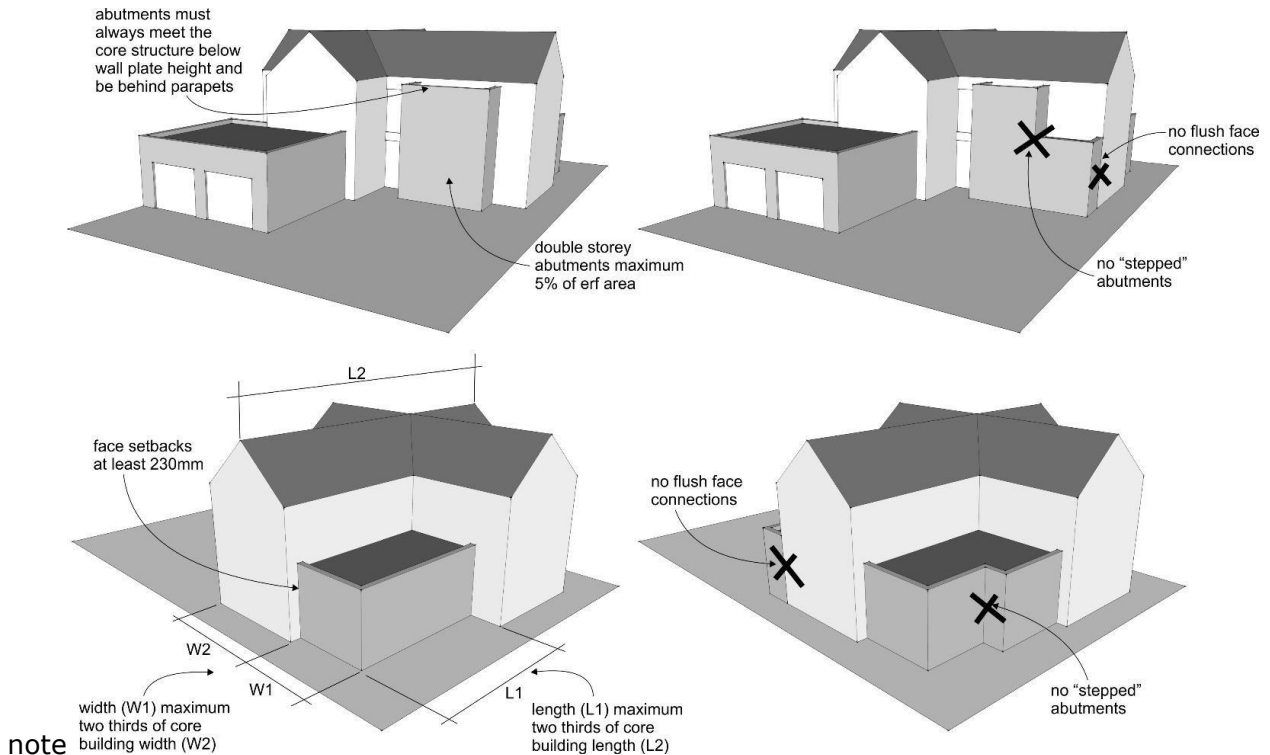


Figure 5.2: Abutment relation to core buildings

5.2 BUILDING PLATFORM

5.2.1 Slopes

Buildings on slopes must be designed in response to the slope of the site with stepped levels or stepped building platforms as illustrated in **Figures 6** and **7** below.

5.2.2 Directives for Buildings on Slopes

The following provisions must be applied to buildings which are situated on slopes:

- The height of ground fill at any point on the site may not be higher than 1,2 m, measured from the natural ground level at that particular point of the site.
- The part of the building that is at the highest part of the site, may not cut deeper into the site than 1,2 m, measured from the natural ground level at that particular point of the site.
- Should a building plinth be used, this structure may not exceed 1,2 m in height.

5.2.3 Retaining Structures

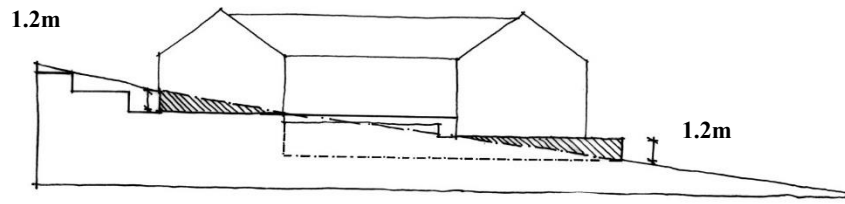


Figure 6: Section illustrating building with stepped ground floor level

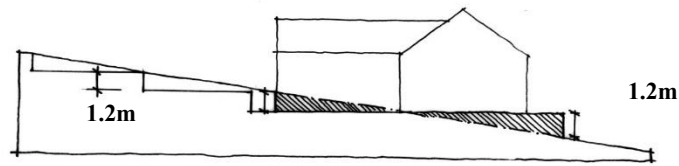


Figure 7: Section through slope illustrating limits to cut and fill

- All retaining structures must be solidly built walls.
- Vertical retaining structures on all boundaries must be plastered and painted brickwork or concrete blocks.
- No** stone masonry walls may be used for retaining structures.
- Stacked retaining systems such as "*Terraforce*" or similar approved systems already used in the the Estate is not encouraged, however, where these systems are used the blocks must always be planted to blend into the landscape.

5.3 ROOFS

5.3.1 General

- Simple double pitched roofs with or without gable end walls on the **core building** and outbuildings are prescribed.

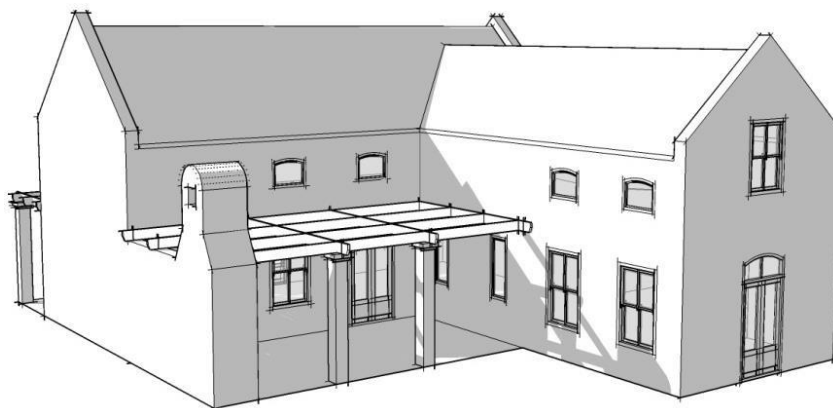


Figure 8: Core building with double pitched roof and gable end walls

- b) When gable end walls on the **core building** and outbuildings are used, the following directives apply:
 - i) It is recommended that these elements be kept simple and without any elaborate decoration, however, plain/simple plaster copings over the top of these walls are permissible; and
 - ii) the line of the gable wall must **always** follow the pitch of the roof line except for example on the garage and/or carport where horizontal parapet walls may be used.
- c) Flat/mono pitched roofs are allowed for **abutments** as well as for garages and/or carports **only** and **must** be enclosed with a horizontal parapet wall concealing the roof on all four sides (as applicable) for roofing material not to be visible. The roofing material used for these roofs must match the **core building** in colour and material specification.⁹
- d) Roof pitch to the **core building** may not be less than 30 degrees or more than 45 degrees. The angle selected for the **core building may not** be asymmetrical, i.e. the pitch on one side of the roof taken at, for example, 40 degrees and the pitch on the opposite side taken at say 45 degrees. The preferred roof pitch for the Estate is 40 degrees. Gable ends must always be symmetrical. No variation on this rule will be allowed.
- e) Lean-to roofs will **only** be allowed for verandas clipped onto the **core building** and must always have a roof pitch of **5 degrees** – *unless this lean-to is treated as an **abutment** and complies with the rules pertaining to abutments* (Refer to par. 5.1.2 – **Abutments**).
- f) Bay window roofs may not have a pitch of less than **45 degrees**.
- g) Clipped eaves with fascias are preferred.
- h) Where **core buildings** are joined together on 0 (zero) m common boundaries (which is only allowed where shown on the approved site development plan), it is preferred and recommended that the angle of the roof of the **core building** be kept the same as the **core building** on the adjoining erf or erven.

Exclusions:

*Flat and mono-pitched flat roofs on any **core building** structure and/or outbuildings*

Double pitched asymmetrical roofs

Curved and decorative parapets and/or gable walls

Hipped roofs

A-frames and Mansard roofs

5.3.2 Roof Finishes

The following roofing materials and colours may be used on the **core building** and outbuildings:

- a) Corrugated S-profile metal roof sheeting with pre-painted *Chromadek* finish or similar.
- b) "Victorian S-Profile roof sheeting, Klip-Lok, or similar concealed fixed roof

⁹ See Par 5.4.1

sheeting".

Colours: See par. 5.4.1(b), Table B

- c) **Omitted** (Use of shade cloth on carports is not allowed.)
- d) Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may be used on carports. However, said materials may not be visible when viewed from the side elevation and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation.
- e) Verilux/Foldo or similar approved openable aluminium louvre blade roofs may be used on stoeps with the condition that the roof is screened behind horizontal beams or fascias in order not to be visible from any side elevation.

Colours: See par. 5.4.1(b), Table B

- f) Polycarbonate sheeting may be used as a cover on roofs over patios. However, said materials may not be visible when viewed from below and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation. The sheeting must also be visually concealed from below using timber slats with no gap wider than 25 mm between.

Note: Areas that are covered with louvre blade roofs will not be classified as covered stoeps and the coverage will be calculated as set out under par. 6.4 — **Coverage**, below.

Exclusions:

No shade cloth may be used on the *core building* or any one of the outbuildings.

No use of shade cloth in a vertical application to serve as a screen is allowed.

No Perspex and/or fibreglass may be used.

5.3.3 Fascias and Bargeboards

- a) "Everite" plain fibre cement fascia and bargeboard, size 225 x 15 mm, 150 x 15 mm or similar, painted, or
- b) Timber hardwood fascia and bargeboard, size planed all round, 22 or 32 x 220 mm, painted.

Colours: See par. 5.4.1(b), Table B

Exclusions:

"Everite" Victorian profile fibre cement fascias and bargeboards

5.3.4 Gutters and Rainwater Downpipes

- a) Seamless "Watertite" aluminium or similar, standard domestic Ogee gutters, with rectangular fluted downpipes, all to be pre-painted, or
- b) "Marley Streamline" or similar square-profile PVC gutters with square downpipes.

Colours: See par. 5.4.1(a) Table A for downpipes (to be colour of the core building) and par. 5.4.1(b) Table B for gutters (to be colour of the core building).

5.4 EXTERNAL MASONRY WALL FINISHES

Painted plaster, with a choice of the following may be used:

- a) Building abutments, garden walls and plinths may be accentuated and plaster bands around doors and windows may be used.
- b) Only smooth plaster may be used on the exterior face of the building; however, stipple plaster will be permitted to be used in a limited application to accentuate building plinth(s).
- c) Thickened walls as used in historical houses are encouraged.
- d) Boundary walls must always be finished with smooth plaster and coping details as described under par. 5.10 – **Boundary Walls and Gates** – below.
- e) Natural and/or imitation stone cladding may **only** be used on chimneys and building plinths. The extent, pattern and colour of the cladding to be used must be submitted to the Review Architect for pre-approval.

Exclusions:

No Facebrick

Stipple plaster limited to be used on building plinths and chimneys only

No colour pigmented and cement-based plaster paint finishes permitted

*Bagged and painted brickwork as an exterior wall finish is **not** allowed*

5.4.1 Exterior Wall Colour Selection

Exterior wall colours have been updated to reflect the Estate's new aesthetic direction. The previous pocket system is replaced by a simplified table-based colour selection system. Eleven (11) wall colours are presented, with the use of accent colours for abutments and plaster bands optional.











All new and existing structures must be painted or repainted in accordance with the approved Plascon colours specified in:

- Par. 5.4.1 (a), Table A – Colours: Walls and Gutters (2025)
- Par. 5.4.1 (b), Table B – Colours: External features/components (Aluminium, uPVC and other Materials)

Colour swatches for all exterior colours must be submitted to the Estate Manager for provisional approval before building plans are submitted to the Stellenbosch Municipality. Final approval is granted by the Review Architect once the building is under construction and at least 1,0 m² of each colour has been applied on site.









Note: Colours may be matched using alternative paint suppliers or manufacturers, provided the colour matches the approved specification exactly and is submitted to the Review Architect for final approval prior to application.

a) **Table A****Colours: Walls and Gutters (2025)**

Plascon Colour Name	Plascon Colour Code	Swatch*
White	EPL 30	
Salt Pebble	EPL 4	
Frothy Milk	EPL 7	
Landing	EPL 67	
Mandarin Tusk	EPL 49	
Veldrift	Y2-D2-3	
Ivory Parchment	Y3-D2-3	
Bleached Baobab	Y2-C2-2	
Statued	EPL 23	
Ivory Ridge	Y3-D2-2	
Amazon Mist	Y5-E2-3	
<p>* Please note: Colours shown on paper or on a computer screen may differ due to printing and display settings. For accurate colour selection, consult your paint supplier and review physical swatches or samples.</p>		

Note: The colours selected may from time to time change or be discontinued by the manufacturer. As it is not possible to update the above list with every such change or discontinuation, owners / building contractors **must** check with the Review Architect before commencing with paint work.

b) **Table B****Colours: External features/components (Aluminium, uPVC and other Materials)**

Colour Name	RAL Code	Swatch Colour*	Roof 5.3.2 b)	Fascia Barge Boards 5.3.3 b)	Gutters 5.3.4 b)	Shutters 5.5 c)	Windows Doors 5.5 c)	Garage Doors 5.5.1 d) ii)	Pergolas 5.8.1 e) iii)	Louvres 5.3.2 (e)	Balustrades 5.8.4 i)
Jet Black	9005		X	X	X	X	✓	X	✓	X	✓
Matt Anthracite Grey	7016		✓	✓	✓	✓ or white	✓	✓	✓	✓	✓
Matt Iron Grey	7011		✓	✓	✓	✓ or white	✓	✓	✓	✓	✓
Matt Platinum Grey	7036		✓	✓	✓	✓ or white	✓	✓	✓	✓	✓
Matt Stone Grey	7030		✓	✓	✓	✓ or white	✓	✓	✓	✓	✓
Matt Agate Grey	7038		✓	✓	✓	✓ or white	✓	✓	✓	✓	✓
Matt Beige Grey	7006		X	X	X	✓ or white	X	X	X	X	X
Matt White	9010		X	✓	✓	✓	✓	✓	✓	✓	✓

*Please note: Colours shown on paper or on a computer screen may differ due to printing and display settings. For accurate colour selection, consult your paint supplier and review physical swatches or samples.

Note: The colours selected may from time to time change or be discontinued by the manufacturer. As it is not possible to update the above list with every such change or discontinuation, owners / building contractors **must** check with the Review Architect before commencing with paint work.

5.5 WINDOWS, DOORS AND SHUTTERS

- a) Windows should have a rectangular vertical proportion. Horizontally proportioned feature windows may in some instances be permitted subject to the approval of the Review Architect.
- b) Mock **or** Vertical Sliding Sash type hardwood timber windows as per "*Swartland Timber*" or similar approved are preferred, however, vertically proportioned side hung casement windows are also permitted.
- c) Aluminium type windows and doors will only be considered if the windows and doors are epoxy powder coated as per the approved colours specified in par. 5.4.1(b), Table B and proportions are as specified under par. 5.5(a) above.
- d) Only "working" hardwood timber and aluminium shutters will be allowed, provided that the colour of the shutters must match that of the window frame over which they close.
- dA) uPVC type windows, doors and shutters will only be considered if the windows, doors and shutters are as per the approved colours specified in par. 5.4.1(b), Table B, the proportions are as specified under par. 5.5(a) above, and if they comply with the provisions of par. 5.5(d) above.
- dB) Material used for doors, windows and shutters must be the same throughout and may **not** be mixed.
- e) For roof space / loft areas, the following window types for dormers are allowed:
 - i) "*Tony Sandal*" / "*Velux*" or similar tip-up type windows and/or small dormer type windows as per "*Swartland Timber*" catalogue numbers SV43, SMS1, SMS2, SS1 and SS2, or similar, approved.
 - ii) The right of the adjacent owner(s) and views from adjacent residences will be considered when the plans are submitted for aesthetic approval.
- f) Sliding / folding / stacking doors will be permitted subject to the approval of the Review Architect.
- g) Guidelines for **Window Placement**: Windows should generally be:
 - i) taller on the ground floor than on the first floor;
 - ii) kept on the same head height throughout the same storey, and any deviation will be to the discretion of the Review Architect;
 - iii) of the same width in vertical succession, lined up above each other;
 - iv) arranged in groupings of twos and threes to create a rhythmic pattern;
 - v) used in families, sharing the same proportions; and
 - vi) not be used to form an external corner of the building.
 - vii) Frameless glass doors may in some instances be permitted, subject to the approval of the Review Architect.

Exclusions:

No "*Winblok*" or other precast concrete windows, glass blocks or leaded windows with coloured glass patterns allowed.

No Natural or Bronze Anodised Aluminium allowed.

No fake/mock shutters allowed.

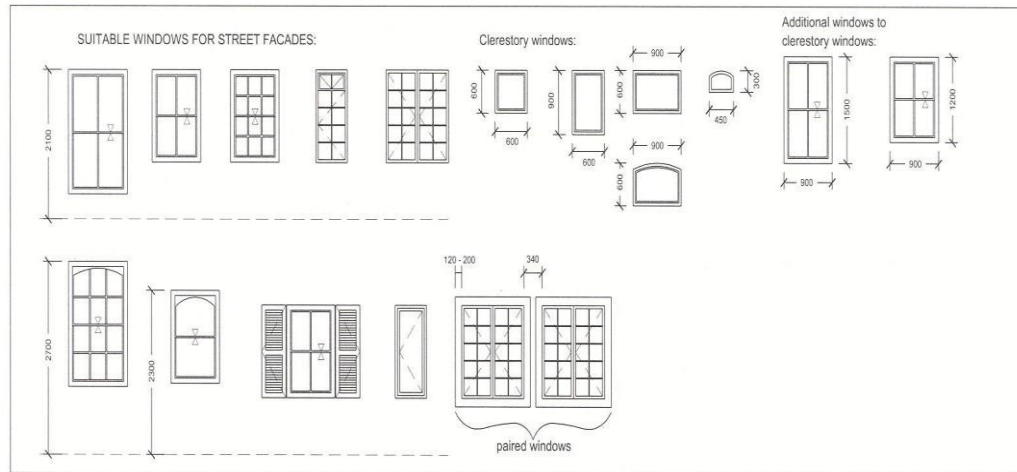


Figure 9: Suitable Window Types (Not exhaustive or all-inclusive)

5.5.1 Exterior Colours for Windows, Doors and Shutters

- a) The colour of timber windows, doors and shutters (varnished or painted); aluminium windows, doors and shutters (epoxy powder coated); and uPVC windows, doors and shutters must be one of the approved colours specified in par. 5.4.1(b), Table B.

b) **Varnish:**

In addition to natural clear timber varnish colours the colour varnish Dark Oak as per "Crown Weatherglow" (or similar approved) colour Dark Oak (code CVA888) in suede finish may be used.

c) **Aluminium and uPVC windows doors and shutters:**

The colour of Aluminium and uPVC windows, doors and shutters must comply with the approved colours specified in par. 5.4.1(b), Table B.

Note: Only **one of the approved colours** shall be used for all the aluminium or uPVC windows, doors and shutters on any dwelling or structures on a property.

d) **Paint:**

i) **Windows, Doors and Shutters (except garage doors):**

Fixed outer frame to be finished in accordance with the approved colours specified in par. 5.4.1(b), Table B, with opening door leaf(s) and inner sliding or opening sashes to windows, including glazing bars to be finished in one of the approved colours specified in par. 5.4.1(b), Table B.

ii) **Garage doors:**

- Timber garage doors may be varnished **or** painted in any one of the approved colours specified in par. 5.4.1(b), Table B, above, and must be the same as the window frame colour.



Figure 10: Vertically proportioned window with plastered windowsill and simple plaster-band forming a flat arch above the window.

- Metal garage doors may only be epoxy powder coated in any of the approved aluminium colours specified in par. 5.4.1(b), Table B above, and must be the same as the window frame colour.
- uPVC garage doors may only be to any of the approved colours specified in par. 5.4.1(b), Table B above and must be the same as the window frame colour.

iii) **Shutters:**

Finished in white **or** any one of the approved colours specified in par. 5.4.1(b), Table B above. The colour of the shutters must match that of the window frame over which they close.

5.6 EXTERNAL WINDOWSILLS

- a) All external windowsills to be plastered to achieve a smooth steel trowel finish and painted.
- b) Simple articulated plaster bands around windows and doors are encouraged.
- c) All plaster bands to be finished in smooth plaster and painted in accordance with approved colours specified in par. 5.4.1(b), Table B above. Note: Using a contrast colour is optional but not recommended.

5.7 GARAGES AND CARPORTS

- a) Each erf may have a **maximum** of two single garage doors or one double garage door facing the street, and parking space conforming to the dimensions as per SANS 10400 for a **minimum** of two cars must be provided on each Erf.
- aA) Proposals requiring plan approval for any new or renovated dwelling shall, from this date forward, include a minimum of one single garage for the parking of a motor vehicle.
- b) **Omitted**
- c) Garage doors may be hardwood timber tip-up or sectional overhead type with horizontal (HWB) or vertical (VWB) pattern. Timber garage doors with vertical pattern are prescribed and preferred; however, metal and uPVC garage doors may be permitted, provided that the **prior** written approval of the Review Architect has been obtained.
- d) Approved colours for garage doors are specified in par. 5.4.1(b), Table B above.
- e) Garage doors must always be set back from the street boundary to provide an additional parking space in front of the garage and be screened with a pergola or screen wall element that can also serve as a carport.



Figure 11: Garage doors screened from view by a coachman's entrance and timber pergola behind a horizontal parapet wall.

- f) The design of a carport must fit in with the overall aesthetic and character of the **core building** and be submitted with the building plans to the Review Architect for aesthetic approval prior to construction.
- fA) The sides of a carport may **not** be closed off with any kind of screening such as Bluegum laths ("Bloekomlatte") and "Spaanse Riet", slats, mesh, shade cloth, canvas or similar, but must be left open.
- g) The growth of vines on pergolas in front of garages is encouraged.

Exclusions:

All patterned garage doors (e.g. raised and fielded panels, etc.) except horizontal and vertical patterns as specified above.

5.8 VERANDAS, PERGOLAS, COLUMNS, CORNER BRACKETS, BALCONIES AND BALUSTRADES

Verandas, pergolas, columns, corner brackets, balconies and balustrades must be designed, and materials selected, to be in keeping with the architecture of the main structure.

5.8.1 Verandas, Pergolas, and Columns

- a) Verandas with lean-to roofs on the **core building** are preferred. These roofs must have a pitch of 5 (five) degrees (**unless built hidden behind a parapet and used as an abutment**). The roofing material used for these roofs **must** match the roof of the **core building** in colour and material specification, unless it is a concrete roof.
- b) Verandas and pergolas may only be constructed from hardwood timber sections – aluminium sections proportioned to match standard timber sizes may in some instances be permitted, subject to the approval of the Review Architect. A mixture of timber and aluminium are not allowed.
- c) Columns to verandas and pergolas can be:
- i) Square hardwood timber posts, with corners fluted or not, painted or varnished, or
 - ii) 220 mm x 220 mm square brick columns, plastered and painted, or
 - iii) 220 mm x 220 mm square brick columns on 340 mm x 340 mm square brick bases, plastered and painted, or
 - iv) Aluminium square posts proportioned to standard timber sizes, subject to the approval of the Review Architect.
- d) The growth of vines on pergolas and verandas are encouraged.
- e) Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may be used as ceilings on stoeps with the condition that the material may not be visible when viewed from the side elevation and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation.

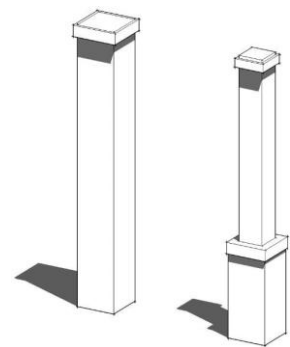


Figure 12:
Typical brick columns

Colour:

- i) Timber – varnished **or** painted in any one of the approved colours specified in par. 5.4.1(b), Table B above. Bluegum laths ("Bloekomlatte") and "Spaanse Riet" may not be painted but must be left natural or varnished in a natural

clear varnish.

- ii) Plastered brick columns – painted to match the **core building**.
- iii) Aluminium – pre-painted in any one of the approved colours specified in par. 5.4.1(b), Table B above.

Exclusions:

No Pergolas may be covered with shade cloth or roof sheeting of any kind.

No pergolas built over or outside of the building lines, will be allowed to be covered at any stage, as this becomes a building line encroachment. Such structures must remain uncovered pergolas outside of building lines – especially on the street building line.

No cover may be placed on pergola elements inside or outside of the building line, without first following the formal building plan application procedure.

No round timber pole structures of any kind allowed.

No metal columns or steel sections may be used.

5.8.2 Corner Brackets

The following directives apply to corner brackets:

- a) Hardwood timber corner brackets may only be used in conjunction with timber posts / columns.
- b) Timber corner brackets must be painted or varnished to match the timber posts / columns.

Colour:

Timber – varnished **or** painted in any one of the approved colours specified in par. 5.4.1(b), Table B above.

Exclusions:

No wrought iron, steel, cast aluminium or decorative corner brackets may be used.

5.8.3 Balconies

- a) Small "French type" balconies with inward/outward opening doors are preferred.

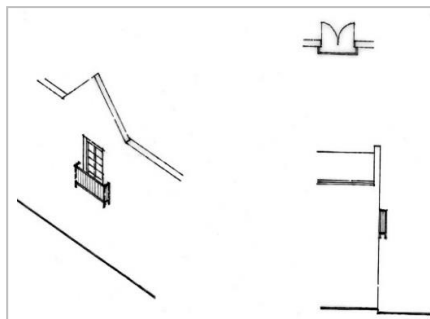
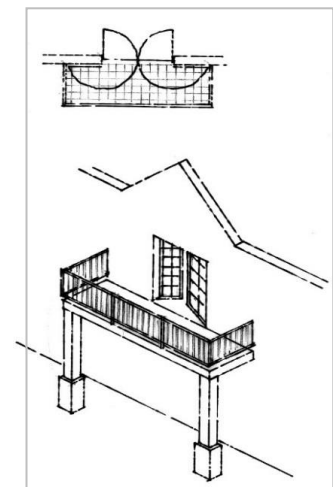


Figure 13: Preferred balcony types



- b) The following conditions are preferred:

- i) The balcony slab protruding 200 mm max. past the exterior face of the building with the handrail fixed inside the door reveal and the doors

opening inward, or

- ii) The slab protruding 1 000 mm max. past the exterior face of the building with the handrail fixed on the side or top of the balcony slab, and the doors opening either inward or outward.
- c) Balconies must form an integral part of the design, and the sides must be plastered and painted.
- d) Balconies on one of the side boundaries will only be considered if the **core building** is positioned 3,0 m from one of the two side boundaries and the balcony may only be positioned on the 1,5 m or greater building line side. Said balconies may **not** protrude over the 1,5 m building line.
- e) The following directives apply to all balconies: The right of the adjacent property owner(s) and views from adjacent residences must be considered when the plans are submitted for aesthetic approval.

Colour:

Plaster on vertical sides of balconies to match approved exterior wall colours specified in par. 5.4.1(b), Table B above.

5.8.4 Balustrading

The following directives apply to balustrading:

- a) **Only** hardwood timber balustrades, or
- b) square mild steel tubing or flats may be used.
- c) Balustrade elements must be predominantly vertical.

Colour:

- i) Timber – varnished **or** painted in any one of the approved specified colours in par. 5.4.1(b), Table B above.
- ii) Steel – painted **or** epoxy powder coated in any one of the approved specified in par. 5.4.1(b), Table B above.

Exclusions:

No wrought iron, cast aluminium, aluminium, stainless steel panelling or other solid sheet panelling or plastered and painted brickwork allowed.

No stainless-steel cabling or "yacht" handrail details allowed.

No modern type handrails with balusters positioned horizontally allowed.

No handrails with predominantly horizontal members allowed.

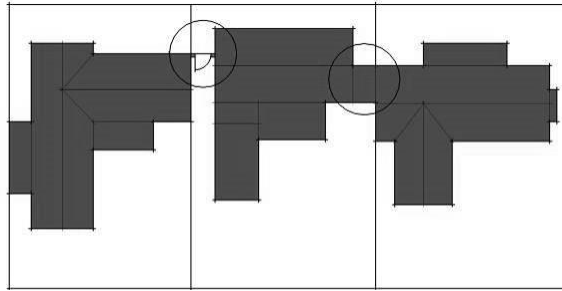
No excessive ornamentation and detailing allowed.

No solid wall balustrades allowed.

5.9 LINKING ELEMENTS

There are several ways to achieve edge continuity by linking facades of buildings, which to define the street edge. The following are examples of linking elements:

- a) Archways/"Poorte" – open or closed with stable doors.
- b) Walls with or without gate openings and/or doors.
- c) Building structures on shared boundary lines can be linked with various linking elements such as gateways or walls to create edge continuity in street facades.



- d) Planting, especially hedges.



Figure 14: Illustration of linking elements used to connect individual houses and create edge continuity.

5.10 BOUNDARY WALLS AND GATES

5.10.1 Boundary Walls

The following directives apply to boundary walls:

- a) All boundary walls visible from the street must be plastered both sides and have the traditional inverted V-shape coping plaster detail. **These walls must be painted in an approved colour**, specified in par. 5.4.1(a), Table A above.
- b) Shared boundary walls not visible from the street can be bagged and painted in **one of the approved colours** specified in par. 5,4,1(a), Table A. These walls can be simple masonry walls without a coping detail.
- c) Shared boundary walls may not exceed 1 800 mm in height, measured from any one side of the erf boundary. It is required that side boundary walling forming part of the street domain, i.e. walling on side boundaries on the street side of the **core building** and garage be kept low at a max. height of 1 200 mm to allow physical as well as visual interaction with the street.
- d) No garden walls on the street side will be allowed, except where screening is required for areas such as kitchen yards and private spaces (wall height max.

1 800 mm, total length 30% of street boundary). Where low walling on the street side is required, the height of such wall is restricted to max. 1 200 mm high to allow physical as well as visual interaction with the street that is essential to retain the quality and character of the Estate.

- e) Walling along common property such as green areas, as well as private property garden walls on the street side shall, going forward, only be approved square mild steel tubing balusters (each between 38 mm x 38 mm and 50 mm x 50 mm) secured vertically on appropriately sized horizontal top and bottom square or rectangular tubing rails forming balustrade sections. These sections shall be equally spaced between 340 mm x 340 mm square brick columns, spaced at approximately 3 m – 5 m centres, with matching open square steel gate(s) for access. The overall height of this wall may not exceed 1 800 mm. Masonry plinth walls to boundary fence structures may not exceed ¼ (one-quarter) of the total height of the structure.

Notes:

- i) All walling is subject to approval by the Review Architect.
- ii) All walling to be designed in accordance with the National Building Regulations (SANS 10400) and checked and verified by an Engineer (where necessary).
- iii) Existing steel Palisade-type walling on private properties, erected prior to 21 November 2024 in line with previous directives of the Association, remains acceptable.
- iv) NO decorative details are allowed on any section of a wall, fence or gate.
- f) All approved mild steel tubing used must be black or pure white, painted or epoxy powder coated in accordance with par. 5.4.1(b), Table B.
- g) Any reference to the maximum height of a wall shall be taken as a measurement to the top of any coping forming part of the wall.
- h) To create privacy screening between properties, boundary walls may in some instances be raised to a maximum height of 2 400 mm using a galvanised mild steel frame clad on all sides with *Nutec Clad Boarding* or *PVC screening*. These screens must be painted to match the wall colour or pure white and is subject to the approval of the owners of the neighbouring property and the Review Architect. This screening will not be allowed on any walls visible from the streetscape.

Exclusions: *Prefabricated walling systems, facebrick, sheet material, wire mesh fencing, Clear View / ClearVu fencing and similar, gum poles or barbed wire are NOT permitted, except the use of Clear View / ClearVu as mentioned in par. 5.14(j).*

5.10.2 Gates

The following directives apply to gates:

- a) Either wrought-iron, steel or timber gates with a varnished or painted finish may be used.
- b) Gates may be incorporated in low or high walls in combination with or without an archway.
- c) Gates may never be higher than the adjoining wall.

- d) In cases where Palisade fencing is used the material used for the gate must match the fence in material and colour.

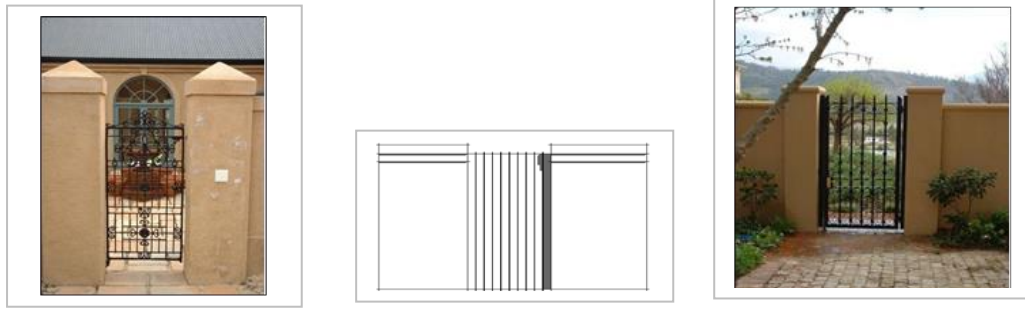


Figure 15: Suitable gates (Not exhaustive or all inclusive)

5.11 HARD LANDSCAPING – PAVING AND DRIVEWAYS

A wide variety of paving materials is available on the market. The selection below is based on a combination of aesthetic, practical and economic considerations.

Note: The landscaping materials chosen should enhance and complement the style and character of the **core building**.

- a) Brick paving, e.g. "Corobrick" or similar pavers in approved colours *Autumn* and *De Hoop*,
- b) 100x100 mm dark grey / charcoal colour Cobbles,
- c) Omitted
- d) Exposed aggregate cement pavers colour Table Mountain Sandstone with De Hoop Red Brick edging" approved,"
- e) SmartStone colour options for the straight edge paver – suggested colours: Yellow SandStone, Charcoal, Natural Concrete."
- f) Omitted
- g) A combination of the above.

Exclusions:

Premix or concrete with brick paving or cobbled edging. Chip and spray

Grey concrete paving slabs. Slasto / Crazy paving

Pebble paving

All concrete paving – standard multi-blends and exposed aggregate

5.11A CONVERSION OF GARAGES

No conversion of garages to serve as rooms for any other purpose than the intended use of a garage in the dwelling is allowed.

Note: Breach of this rule will be penalised i.t.o. the *WHAO Control Measures to Regulate the Performance of Services and Building Work, Control Measure 7.3*.

5.12 SOFT LANDSCAPING – PLANTING

5.12.1 General

- a) Indigenous plants are encouraged to be used to integrate private landscaping with the overall landscaping of the Estate.

- b) Owners are encouraged to use Buffalo or Kweek grass for lawn areas as these grass types are less invasive and less water demanding than Kikuyu grass.
- c) All plants brought to the site must be disease and pest free.
- d) No plants which have been declared Weeds and Alien Invader Plants in South Africa in terms of the regulations issued under the *Conservation of Agricultural Resources Act (No 43 of 1983)*, as amended, or that are under consideration to be included on the invader list, may be planted.

Note: For detailed information regarding the various lists, consult the homepage of the South African National Biodiversity Institute at www.sanbi.org.

- e) Palms, cactuses and conifers may **not** be planted.
- f) Excom has resolved to actively promote the greening of the estate by promoting a natural garden ambiance and limiting the creation of hard landscaped areas in front of dwellings.

5.12.1(f)(i) The area in front of a dwelling, except for the driveway, is considered a garden, and at least $\frac{1}{3}$ (one-third) of it must always be green garden plants / flowers (soft landscaping).

5.12.1(f)(ii) No more than $\frac{2}{3}$ (two-thirds) of the area in front of a dwelling, except for the garage ramp/driveway, may be used as parking space, provided that a car/vehicle can fit in the space without causing obstruction or encroaching the property boundaries.

5.12.1(f)(iii) Sidewalks in front of dwellings that fall outside of the boundary lines of erven are common property and may not be used as parking space.

5.12.1(f)(iv) The removal of trees is not permitted. Where it can be proven that the tree causes damage, permission may be granted in the discretion of the Review Architect for the tree to be removed at the owner's expense. The owner shall either replace such a tree with another more suitable tree, or alternatively donate a tree to be planted elsewhere on the estate. Replacement tree(s) shall be selected in accordance with the existing landscaping policy.

Note: Breach of each of the stipulations mentioned above in par. 5.12.1(f) will be penalised separately i.t.o. the *WHOA Estate Rules*, rule 14.6.

5.12.2 Irrigation

- a) Should irrigation systems be installed, owners must design them in such a way that they do not cause staining to walls.
- b) Irrigation systems must be properly designed and utilised in a way that will maximize the efficient use of water. Indigenous vegetation does not need a lot of water once it is established and therefore, while owners may install private irrigation systems, the irrigation may only be used to a limited extent.

5.12.3 Compost, Fertilisers, Herbicides and Pesticides

The use of organic, slow-release fertilizers and/or organic compost is recommended in private gardens. Care should be taken with over-fertilizing of private gardens, which will result in an increase in the availability of nutrients in the surrounding areas such as agricultural soils. Mulch should be used to conserve moisture and reduce weed growth.

5.12.4 Maintenance

- a) All private gardens are required to be kept in a tidy state at all times.
- b) Storm water is to be properly managed by the owner. In principle, the storm water should be managed in a manner that will prevent any form of erosion, pollution, or other detrimental impact.

5.13 SERVICE FACILITIES / AERIALS / SATELLITE DISHES / PIPES AND CABLES / SCREENING

- a) The following directives apply:
 - i) Gas cylinders, air conditioning units, refuse bins, dog kennels, compost piles and clothes lines must be screened within service / drying yards in order not to be visible from the street, neighbouring properties or common property.
 - ii) Refuse bins which, in exceptional circumstances, cannot be stored out of sight must be screened from view.
 - iii) New air conditioning condenser units must be installed at ground level against exterior walls, not visible from the street, neighbouring properties or common property. Ducting must be discreet, and the unit's position must be shown on the building plan, subject to approval by the Review Architect.
 - iv) Previously installed air conditioning condenser units visible from the street, neighbouring properties or common property must be screened.
 - v) Screening shall be a galvanised mild steel frame clad with *Nutec Clad Boarding*, *PVC screening*, or timber (in the house colour or painted pure white), with horizontal members only, subject to the approval of the Review Architect.

Exclusions:

No window mounted air-conditioning units are permitted.

- b) The location of all television aerials or satellite dishes must as far as possible not be visible from the street or potentially in view of, or hazardous to, adjoining properties or residents and should preferentially be fixed below the main building eaves line. Colour of satellite dishes must be white composite or approved equivalent. All television aerials or satellite dishes must be maintained and kept in a good condition.
- c) All telephone and electrical cable reticulation on the property must be underground. No overhead masts or wires are permitted.
- d) Specific requirements for erven 14902 to 14910; 14912; 14913; and 14915 to 14917 immediately adjacent to Welgevonden Boulevard:

As the back of these dwellings are facing Welgevonden Boulevard, one of the main entrance(s) into the Estate, services and pipes, such as sewer, vent and water pipes may **not** be visible and **must** be boxed into the wall.
- e) Solar thermal systems are permitted with the criteria that **only** the remote tank and evacuated tube type solar panel system may be used, and the panel must be mounted in a position that will not reflect to neighbours. Any remote equipment and the solar tank must be located within the roof. The angle at which the panel is mounted must lie flush with the roof, and the frame and

fittings to match the roof colour. Detail fitting arrangement and position of equipment must be shown on plan and elevation submitted to the Review Architect for approval.

- f) Photovoltaic Panels (PV/solar panels) will be allowed. The angle at which the panel is mounted must lie flush with the roof, and the frame and fittings must match the roof colour. Detail fitting arrangement and position of equipment must be shown on a roof plan and submitted in electronic format to the Estate office for the attention of the Review Architect for approval.
- g) Water storage tanks for the purpose of stormwater harvesting may be installed only at the back of the house in an enclosed back yard and may not be visible from the street or common property. Stormwater pipes and downpipes must be treated discreetly. No tanks will be allowed on the street side of the property. Detail of tanks, positioning and equipment must be shown on plan and elevation submitted to the Review Architect for approval.

Exclusions: *Combined solar tank and panel system exposed on top of the roof are **not** permitted.*

5.14 MISCELLANEOUS AND GENERAL

a) **House numbers and letter boxes:**

- i) Maximum size of lettering to be used is max. 200 mm in height.
- ii) All lettering and numbering to be placed horizontally and in line, and to be understated. The size and location of all house numbers and letter boxes are subject to the final approval of the Review Architect.
- iii) Preferred lettering style: Helvetica.
- iv) Colour for lettering: Only Black, Polished Steel or Brass lettering is allowed.

Exclusions:

No *Ceramic, Italic, and Free form lettering allowed.*

No *house names allowed.*

b) **Outside Lighting:**

All outside lighting must be sensitively positioned and not directed in such a way that it may have a negative impact on the immediate surroundings or potentially in view of, or hazardous to, adjoining properties, residents or passing traffic. It is recommended that all exterior lights be fitted with energy saving bulbs.

Exclusions:

No *floodlights permitted.*

c) **Burglar Bars and Security Gates:**

- i) Burglar bars must be internally mounted, and purpose made to suit window proportions.
- ii) **Omitted**
- iii) Cross members must always be hidden behind window mullions.
- iv) Burglar bars and security gates must be colour coded to match aluminium colour or brown to match any timber window or door installation.

- v) Security gates and burglar bars shall not have any decorative details, with members only in horizontal or vertical format.
- vi) The aesthetic approval of all burglar bars and security gates are subject to the approval of the Review Architect.
- d) **Carports: No** temporary or prefabricated shade cloth structures are allowed.
- e) **Chimneys:**
 - i) Plastered and painted masonry chimneys are permitted in accordance with, or similar to, the chimneys illustrated in **Figure 16**. Masonry chimneys must be plastered and painted to match the colour of the **core building**.
 - ii) Any exposed circular flue pipes will be allowed to the discretion of the Review Architect.

Exclusions:

No exposed fibre cement flue pipes are allowed.

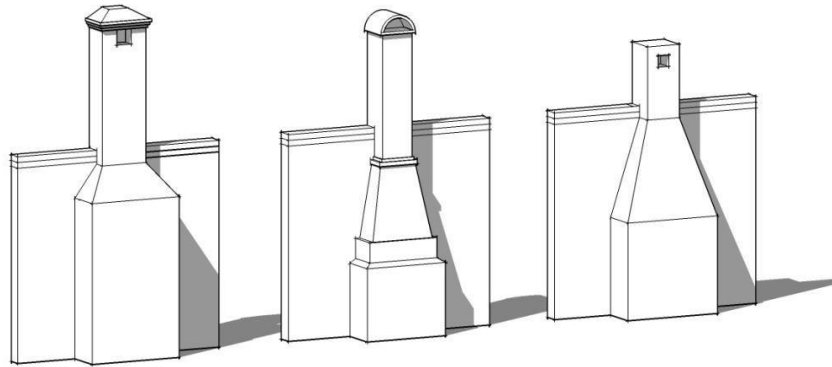


Figure 16: Typical chimney types

- f) **Swimming Pools:**
 - i) No "Porta Pools" or similar pools above ground level are permitted.
 - ii) No swimming pools will be allowed over the street building line.
 - iii) The position of the pool, pump and filter must be shown on plan, elevation and section submitted for approval.
 - iv) The position of the pool pump and filter must be hidden from view from any public area or street.
 - v) The position, colour and design of all swimming pools are subject to final approval by the Review Architect.
- g) **Wendy Houses and Tool Sheds:**

Pre-approval and application for the erection of Wendy Houses and tool sheds is compulsory and must be obtained in writing from the Review Architect in accordance with the rules and guidelines for the erection of said structures available from the Estate office.

h) **Awnings:**

Awnings are allowed if in a plain design without stripes and scallops and of a single colour matching the colour of the **core building**. Canvas awnings are preferred; however, aluminium awnings conforming to the design and colour directives for canvas awnings will be considered.

Plans for awnings showing the proposed design and colour must be submitted to the Review Architect for approval **prior** to installation.

Exclusions:

No fibreglass awnings and canopies are allowed.

i) **Vertical Screening:**

Retractable vertical screening on patios, verandas and stoeps is allowed if of a plain design without stripes, in white or of a single colour matching the colour of the **core building** – subject to approval by the Review Architect.

Plans for vertical screening showing the proposed design and colour must be submitted to the Review Architect for approval **prior** to installation.

j) **Clear View / ClearVu fencing:**

(i) May be used by the Association on common property for security fencing purposes with Excom approval.

(ii) May not be used on any private property (erf) on the Estate, such walling must comply with par. 5.10 above.

5.15 PRIVACY AND NOISE**5.15.1 Visual Privacy**

- a) It must be stressed that these architectural directives and design guidelines, Excom or the Association, or any of its employees or service providers, cannot guarantee visual or noise privacy.
- b) It is important that individual owners ensure that houses are designed in such a manner that they respect and consider the need for private outdoor space / living of neighbouring owners, alternatively, written approval from the neighbours for privacy infringement must be obtained and submitted to the Review Architect.
- c) Each property owner must motivate and illustrate how the aforementioned objective will be met when building plans are submitted for aesthetic approval.

5.15.2 Noise

- a) While visual privacy can be attained by providing screen walls and locating windows and balconies in areas where privacy of the next-door neighbours is not compromised, noise is a potential problem that must be managed.
- b) Good neighbourliness requires noise levels to be kept low by individual households.
- c) Measures are required to regulate and reduce noise levels through technical and design intervention:
 - i) An effective way of reducing noise disturbance is to ensure that outside living spaces of houses are not located directly alongside one another, but that outdoor spaces are located where buildings separate individual

outdoor living spaces.

- ii) Additional noise screening devices can be utilized, such as planters, hedging, double walls, pergolas and garden seats along boundaries.
- iii) The sound of falling water from water features located along boundary walls is an effective method of reducing noise from external sources.

6.0 PLANNING GUIDELINES

Note 1: Refer to the key plan included under Annexure A.

Note 2: For the procedure to be followed when Excom is willing to allow the proposed relaxation of any architectural directive or guideline specified in par. 6.0, see par. 1.3 — **Review Architect** and par. 3.3 — **Submission to Stellenbosch Municipality**.

6.1 ZONING

Zoning and development conditions are in accordance with the development plans and guidelines for the Estate.

6.2 BUILDING LINES

6.2.1 Group Housing (excluding Town Housing):

- a) **Street building line:** 2,0 m from street boundary.
- b) **Garage building line:** 4,0 m from street boundary.
- c) **Rear building line for all erven EXCEPT erven in project 11, 11a and 12:** 1,5 m from rear boundary.
- d) **Rear building line for erven in project 11, 11a and 12:**

3,0 m from rear boundary with provision that building line may be relaxed to 1,5 m from rear boundary for maximum length of 40% of rear boundary length. A stepped building line encourages a more varied building footprint along rear boundaries, privacy and positive outdoor living spaces.

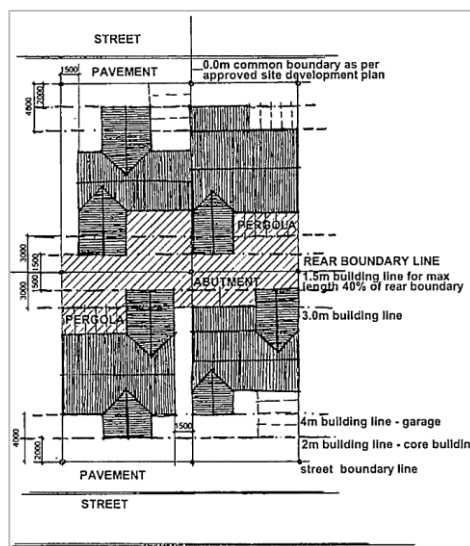


Figure 17: Illustration of stepped building line along rear boundary that encourages a varied building footprint.

- e) The combined total of the two **side building lines** must equal 3,0 m. Placing

the **core building** or any one of the outbuilding(s), with the exception of the garage and/or carport (also refer to par. 6.2.1(f) below), closer than 1,5 m from any one of the two side or rear boundary is not allowed, **except** where 0,0 m common building lines is permissible as indicated on the approved site development plan.

- f) A 0 (zero) m building line for placing the garage and/or carport on one of the two side boundaries will be allowed with the condition that the other side building line will be 1,5 m from the boundary.
- g) Relaxation of the above prescribed side building lines can be given with an approved site development plan for a group (two or more erven). The latter clearly indicating the building lines proposed, must be submitted for **prior** approval.
- h) Relaxation of the prescribed 1,5 m side building line for individual houses adjoining common property areas to 0 (zero) m will be considered on merit. Windows on the relaxed 0 (zero) m boundary side may only be sliding sashes and **no** doors on the 0 (zero) m boundary side will be permitted. Doors must be set back at least 1,5 m.

6.2.2 Other Categories of Zoning

- a) For all other categories of development, a site development plan indicating the building lines proposed must be submitted for **prior** approval.

6.3 BUILDING HEIGHT RESTRICTION

6.3.1 Group Housing (including Town Housing):

- a) Building height for all erven may not exceed 2 storeys, **except** erven 14902 to 14910; 14912; 14913; and 14915 to 14917 immediately adjacent to Welgevonden Boulevard where the building height is prescribed and restricted to max. 5 700 mm measured from the top of the pavement in Welgevonden Boulevard to the ridge of the roof.
- b) Relaxation of the above prescribed building height can be given with an approved site development plan. The latter clearly indicating the building height(s) proposed must be submitted for prior approval.

6.3.2 Other Categories of Zoning

- a) Building height prescription to be in accordance with the approved site development plan, however in all instances the maximum permissible building height may not exceed 2 storeys plus a loft storey, except in cases where the basement storey is used exclusively for parking, in which case the basement may be added as an additional storey.

6.3.3 Definition of "Storey"

For the purposes of par. 6.3 "storey" means a single level of any building, measured from finished floor level to finished floor level of the storey above, or to the ceiling in the case of the top storey. A roof-space utilised or intended to be utilised for the purpose of human habitation is also regarded as a storey. If the ceiling level varies, the mean ceiling level will be calculated. If the maximum of one storey is permitted, the height of the storey may not exceed 4,0 m; if two storeys are permitted, the storey height may not exceed 8,0 m and so forth.

Note: See the applicable *Stellenbosch Municipality Zoning Scheme Regulations*.

6.4 COVERAGE

Coverage refers to all building forms under a roof and includes the core building, garages, verandas and all outbuildings.

6.4.1 Group Housing (including Town Housing):

a) **Coverage for all erven EXCEPT erven in projects 11, 11(a) and 12:**

50% of erf size calculated as the total building area under roof **excluding** covered stoeps and balconies. For "poort" erven, see par. 6.4.1(c) below.

b) **Coverage for all erven in project 11, 11(a) and 12:**

Limited to 50% of erf size (for "poort" erven, see par. 6.4.1(c) below). Coverage for aforementioned erven is strictly calculated in accordance with the *Stellenbosch Municipal Zoning Scheme Regulations* as the total building area under roof **including** covered stoeps, balconies, etc.

c) The coverage on all "poort" erven in all projects will be determined in accordance with the site development plan for that specific erf and is **not** limited to the 50% guideline.

d) Relaxation of the above prescribed coverage can be given with an approved site development plan for a group (two or more erven). The latter clearly indicating the coverage proposed must be submitted for **prior** approval. Architectural professionals must indicate Coverage under the following subsections:

- i. Coverage of interior areas i.e. core building, abutments and enclosed stoeps to form part of the interior.
- ii. Coverage of non-enclosed areas i.e covered stoeps, covered carports and covered pergolas that do not form part of the interior.
- iii. Total coverage including all areas mentioned in (i) and (ii) above.

6.4.2 Other Categories of Zoning

Coverage and other development parameters: As per the approved site development plan.

7.0 PROJECT 12 – SPECIFIC GUIDELINES FOR ERVEN IMMEDIATELY ADJACENT TO WELTEVREDEN FARM

In addition to these architectural directives and design guidelines, specific guidelines for the Estate's erven 15286 to 15297; 15464; 15463; 15462; 15453; 15448; 15447; 15434; and 15433 have been approved to ensure that the aesthetic and architectural requirements for the development of these erven immediately adjacent to the Weltevreden Farm are met.

The documentation is included under Annexure B and is available on request from the Estate office or the Welgevonden website, www.welgevonden.co.za.

8.0 Omitted

9.0 FUTURE ALTERATIONS AND ADDITIONS

- a) All future alterations and additions must comply with these architectural directives and design guidelines. Additions must match the original building design in style, elevation and material usage.

- b) Building plans must be prepared in accordance with these architectural directives and design guidelines for examination and aesthetic approval by the Review Architect, and approval of the Estate Manager must be obtained as prescribed herein.

Note: Also see par. 4.0(c)

/Schedule of Amendments

SCHEDULE OF AMENDMENTS

WHOA Architectural Directives and Design Guidelines – including Control Measures to Regulate the Preparation and Processing of Building Plans

DATE OF AGM	DESCRIPTION OF AMENDMENTS
1 October 2003	Par. 5.2.1 and 6.0 – Earthcote as paint finish omitted.
	Par. 5.2.1 – Updated and revised colour scheme for exterior walls added.
	Paragraph 3.1 – Aesthetic Approval – Item (c) (1) to (c) (8) and (e) added.
	Par. 6.0 – Boundary walls – par. (d) – Height of low walling added.
23 September 2004	Par. 11.4.1 – Description on how coverage is calculated added.
19 August 2005	General updating of guidelines comprising addition of images and updating/revision of text as follows: Note: Document re-numbered as required to accommodate new / updated text.
	Par. 3.1 A.(a) – Number of building plans to be submitted updated to 5; and later updated to 6.
	Par. 3.1 A.(b) – Electronic copy of approved building plans required.
	Par. 5.0 – Images and text added.
	Guidelines on <i>5.1 Building Form</i> and <i>5.2 Building Platform</i> added. Rest of document re-numbered accordingly.
	Par. 5.1 to 11.0 (as per guidelines dated 23 September 2004) re- numbered and guidelines for <i>5.7 Garages and Carports</i> ; <i>5.9 Linking Elements</i> ; <i>5.12 Guidelines for Soft Landscaping</i> and <i>5.15 Privacy and Noise</i> added.
	Par. 5.3.1.(d); (g) and (h) added – Preferred roof pitch 40 degrees. Min. roof overhang omitted. Clipped eaves added. Note on roof pitch of core buildings on common boundaries added.
	Par. 5.3.2.(c) – Shadecloth colour revised from black to dark grey.
	Par. 5.3.3 and 5.3.4 – Colour Dark Dolphin as approved accent colour for fascias, bargeboards, gutters and rainwater downpipes added.
	Par. 5.4 – Stipple plaster limited to use on building plinth only. No cement based plaster paints permitted.
	Par. 5.4.1 – Colour Dark Dolphin as approved accent colour added.
	Par. 5.5 – Windows and Doors, par. (e) catalogue nos for dormer windows updated; par. (g) and par. (h) added.
	Par. 5.5.1 – Timber varnish colour Dark Oak (code CVA888) added. Aluminium windows and doors may be epoxy powder coated dark brown colour code MATT NM ANP 3056. Colour for metal garage doors specified. Doors, windows and shutters – Dark Dolphin as approved accent colour added.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
19 August 2005 (continued)	Par. 5.7 Garages and Carports — Notes previously in text under par. 5.3 (e) moved to this par. and additional notes added. Horizontal pattern timber garage doors permitted. Chevron pattern garage doors omitted. Timber sectional overhead type timber doors added. "Coroma Coroflute" or similar approved metal garage doors with horizontal pattern added.
	Par. 5.8.1 — Verandas, Pergolas and Columns:- No tanalith or round timber pole structures of any kind allowed.
	Par. 5.8.4 — Balustrading:- Colours updated.
	Par. 5.10.1.(c) — Walling on side boundaries on the street side of the core building and garage to be kept low at a max. height of 1200 mm. Par. 5.10.2 — Guidelines for gates added.
	Par. 5.13: a) Guidelines for AC units added. b) Colour for satellite dishes added. d) Specific requirements for boxing in services for erven 14902 to 14910; 14912; 14913 and 14915 to 14917 immediately adjacent to Welgevonden Boulevard added. e) Guidelines for solar thermal systems added.
	Par. 5.14: a) No house names allowed. b) No floodlights permitted. c) Burglar bars — notes added. e) Illustration of typical chimney types added. g) No Wendy Houses, Tool sheds or temporary structures permitted. h) Guidelines for awnings added.
	Par. 6.2.1.(d) — Rear Building line for all erven in Project 11, 11a and 12 revised.
	Par. 6.3.1.(a) and (b) — Building heights for erven 14902 to 14910; 14912; 14913 and 14915 to 14917 and erven 15286 to 15297 added.
	Par. 6.4.1 — Coverage calculation for all erven in projects 11, 11a and 12 revised and limited to 50% coverage calculated as per method stipulated in Stellenbosch Municipal Zoning Scheme Regulations.
	Par. 7.0 — Specific guidelines for erven in Project 12 immediately adjacent to Weltevreden Farm added under Annexure B.
21 May 2010	General updating of guidelines as instructed by Welgevonden Aesthetic Committee (WAC) as follows:
	Welgevonden Aesthetic Committee (WAC) replaces Dennis Moss Partnership as body for aesthetic control.
	Par. 5.3.1.(b)(ii) — Word "gable" replaced with "parapet".
	Par. 5.3.1.(c) fascia added.
	Par. 5.3.1.(b), (g) — Sentence "roof overhangs are encouraged" omitted.
	Par. 5.3.2.(c) shade cloth to be screened with fascia added.
	Par. 5.3.2.(d) and (e) added.
	Par. 5.4.(e) added.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 May 2010 (continued)	Par. 5.4.1.(c) and 5.5.1.(c)(i) Matt Traffic Grey added as accent colour.
	Par. 5.4.1 exterior wall colours revised as approved Feb 2008.
	Par. 5.5.(d) aluminium shutters added.
	Figure 9 – Clerestory window, size 900x800mm omitted.
	Par. 5.7.(b) revised – Words "(single width)" omitted.
	Par. 5.8.1.(e) added and colour note for Bluegum laths ("Bloekomlatte") and "Spaanse Riet" added under 5.8.1 colour (i).
	Par. 5.8.3.(d) revised.
	Par. 5.9.(c) – Word "building" replaced with "boundary".
	Par. 5.10.1.(e) updated. Steel columns and note on height of plinth wall added.
	Par. 5.10.1.(f) colour black added.
	Par. 5.13.(a) revised.
	Par. 5.13.(b) – Sentence "The position, size and siting of satellite dishes must be approved by the WHOA" omitted.
	Par. 5.13.(e) revised. Circular steel flue pipes permitted.
	Par. 5.14.(c) – Sentence "Security gates are only permissible if mounted internally behind a solid door and is therefore not visible from the exterior of the building" omitted.
	Par. 5.14.(d) – Word "pre-fabricated" added.
	Par. 5.14.(e)(ii) and (iii) added.
	Par. 5.14.(g) revised.
	Par. 5.15.1.(b) revised.
	Par. 6.2.(f) Side building line relaxed from 2,0 m to 1,5 m.
	Par. 6.2.(g) and 6.4.1.(d) – Sentence "for a group (two or more erven)" added.
	Par. 6.2.(h) added.
	Note – Annexure A and B – no changes
11 April 2012	General update of document to include the architectural guidelines for Area 1 as instructed on by the WAC as per decision taken at Executive Committee meeting on 23 May 2011. Guideline document for Area 1 dated 1 Oct 2003 superseded and updated with this document.
	Planning Guidelines for Area 1 as per guideline document for Area 1 dated 1 Oct 2003 included under Annexure C.
	Par. 9.0 added.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
<p>27 November 2014</p>	<p>Administrative procedures set out in par. 1.0 – 4.0 revised, but architectural directives and design guidelines remain unchanged as per document dated 11 April 2012, except for—</p> <p>i) Par. 5.4.1.(e) to which the following Note was added: Note: The colours selected may from time to time change or be discontinued by the manufacturer. As it is not possible to update the above list with each and every such change or discontinuation, owners / building contractors are required to check with the WAC before commencing with paint work.</p>
	<p>ii) Par. 5.12.1.(d) which was substituted as follows: d) No plants which have been declared Weeds and Alien Invader Plants in South Africa in terms of the Regulations issued under the <i>Conservation of Agricultural Resources Act, No 43 of 1983</i>, as amended, or that are under consideration to be included on the invader list may be planted. Note: For detailed information regarding the various lists, consult the homepage of the South African National Biodiversity Institute at http://www.plantzafrica.com.</p>
<p>29 September 2015</p>	<p>Par. 1.2 amended by adding the following sentences at the end: For minor alterations that do not require building plans for municipal approval, the WAC may in its discretion accept sketch plans. Should such sketch plans in the discretion of the WAC not contain sufficient information for it to take a decision on the proposed alterations, it may require the member to provide more information, including complete building plans.</p>
	<p>Par. 3.1 amended by—</p> <ul style="list-style-type: none"> • Inserting a new par. (1). • Renumbering the existing par. (1) to par. (2) and rephrasing the paragraph. • Renumbering the existing par. (3) and par. (4) to par. (4) and par. (5), respectively.
	<p>Par. 4.0.(a) amended by adding the following sentence at the end: No deviations from the aesthetically approved plans, finishes and colours may be implemented without written approval by the WAC.</p>
	<p>Par. 5.1 amended by adding the following paragraph: Secondary building structures will be referred to as abutments to the core building.</p>
	<p>Par. 5.1.1.(a) amended by— Substituting the reference to “Figure 5.1” for the reference “Figure 5”. Renumbering Figure 5 to Figure 5.1.</p>
	<p>New par. 5.1.2: Abutments and new Figure 5.2: Abutment Relation to Core Buildings inserted.</p>
	<p>Par. 5.3.1: i) Par. (c) amended by inserting the words “abutments as well as” in the 1st line. ii) Par. (e) amended by adding the words “– unless if this lean-to is treated as an abutment and complies with the rules pertaining to abutments (Refer to par. 5.1.2)” at the end. Exclusions amended by substituting the words “<i>any core building structure</i>” for the words “<i>the main dwelling</i>” in the first exclusion.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
29 September 2015 (continued)	Par. 5.4.(a) amended by— i) Inserting the words “abutments, garden walls and” after the word “Building”. ii) Adding the following sentence at the end: — Accent colours as per the colour schedule below, are encouraged for these elements.
	Par. 5.4.1: i) Par. (a) amended by inserting the word “Pockets” after the word “Colour”. ii) Par. (b) amended by substituting the words “ pockets ” as defined in par. (c)” for the word “listed”. iii) Par. (c) substituted. iv) Par. (e) substituted.
	Par. 5.5.1 amended by— i) Inserting a new par. (c) Aluminium . ii) Omission of “Aluminium” from par. (b). iii) Renumbering the existing par. (c) to par. (d) and rephrasing paras. (i) — (iii) thereof.
	Par. 5.6.(a) amended by adding the words “in accordance with par. 5.4.1.(c) above” at the end.
	Par. 5.7.(d) amended by substituting the reference “par. 5.5.1.(d)(ii)” for the reference “par. 5.5.1.(c)(ii)”.
	Par. 5.8.1 amended by— i) Inserting the words “ (unless built hidden behind a parapet, and used as an abutment) ” after the word “degrees”. ii) Substituting in par. (i) of Colour the reference “par. 5.5.1.(d)” for the reference “par. 5.4.1.(c)”. iii) Exclusions added/clarified.
	Par. 5.8.2 amended by substituting in par. (i) of Colour the reference “par. 5.5.1.(d)” for the reference “par. 5.4.1.(c)”.
	Par. 5.8.4 amended by substituting in paras. (i) and (ii) of Colour the reference “par. 5.5.1.(d)” for the reference “par. 5.4.1.(c)”.
	Par. 5.10.1: i) Par. (a) amended by adding the following sentence at the end: These walls must be painted in a colour as per par. 5.4.1.(c) above. ii) Par. (b) amended by adding the following words at the end: in one of the approved “pocket” accent colours iii) Par. (f) substituted.
26 September 2016	Par. 3.1.(5)(h) substituted by the following paragraph: Complete door, window and shutter schedule with dimensions, material description and finishes.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
<p>26 September 2016 (continued)</p>	<p>Par. 5.5:</p> <p>i) The heading substituted as follows: 5.5 WINDOWS, DOORS AND SHUTTERS</p> <p>ii) Par. 5.5.(d) amended by adding at the end: , provided that the colour of the shutters must match that of the window frame over which they close.</p> <p>iii) After par. 5.5.(d) the following new paragraphs inserted:</p> <p>dA) uPVC type windows, doors and shutters will only be considered if the windows, doors and shutters are as per the colour outline included under par. 5.5.1 below, the proportions are as specified under par. 5.5.(a) above, and if they comply with the provisions of par. 5.5.(d) above.</p> <p>dB) Material used for windows and shutters must be the same throughout and may not be mixed.</p> <p>iv) The 5th Exclusion amended by omitting the words "window and".</p>
	<p>Par. 5.5.1:</p> <p>i) Par. (a) substituted by the following paragraph: a) Timber windows, doors and shutters can be varnished or painted as per the colour outline below; aluminium windows, doors and shutters to be epoxy powder coated as per the colour outline below; uPVC windows, doors and shutters to be as per the colour outline below:</p>
	<p>Aluminium windows, doors and shutters may be in any of the following approved colours:</p> <p>ii) After par. (c) the following new paragraph inserted: cA) uPVC: uPVC windows, doors and shutters may be in any of the following approved colours:</p> <ul style="list-style-type: none"> - White - Matt Traffic Grey - Dark Umber Grey - Matt Charcoal <p>iii) Par. (d)(i): The heading amended by adding the words "and Shutters".</p> <p>iv) Par. (d)(i) amended by inserting, "uPVC" after the word "aluminium" in the 8th line.</p> <p>v) Par. (d)(ii) amended by adding the following item at the end: — uPVC garage doors may only be to any of the approved colours in Par. 5.5.1.(cA) above, and must be the same as the window frame colour, or white.</p>
	<p>Par. 5.7.(c) amended by inserting the words ", or similarly patterned uPVC garage doors," after the word "pattern" in the 7th line.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017	<p>General</p> <p>i) Abolition of WAC The Welgevonden Aesthetic Committee (WAC) which was appointed by Excom to take responsibility for aesthetic control with effect from 21 May 2010 was abolished by Excom on 9 February 2017. Its building plan examination function was entrusted to an appointed independent Review Architect, and its administrative functions were allocated to the Administration Office and the Estate Manager. Excom again assumed responsibility for evaluating any proposed relaxation of, or deviation from, the architectural directives and design guidelines, as provided for in the <i>WFOA Constitution</i>, with due regard to any recommendation of the Review Architect in respect of each particular case. When deemed appropriate, Excom appoints another independent adviser to assist it in the evaluation of any such recommendation. Par. 1.0 — Introduction was revised accordingly to reflect this changed procedure.</p>
	<p>Style Changes: The following general style changes were effected with a view to consistency:</p> <p>∩ “building contractor” / “contractor” □ “building contractor”.</p> <p>∩ “core building” / “main building” / “main dwelling” □ “core building”.</p> <p>∩ “Estate” / “Welgevonden” / “Welgevonden Estate” “Welgevonden Estate”.</p> <p>∩ “member” / “home owner” / “owner” / “property owner” / “registered property owner” □ “owner”.</p> <p>∩ “objects” / “objectives” □ “objects”.</p> <p>∩ “shadecloth” / “shade cloth” □ “shade cloth”.</p> <p>∩ “is to be” / “must” / “needs to” / “shall” / “should” / “will” □ “must”.</p> <p>iii) Grammar, spelling, etc.: Various grammar, spelling and punctuation mistakes, and general style inconsistencies corrected, and superfluous wording omitted, without amending any of the actual directives or guidelines.</p>
	<p>Par. 1.2:</p> <p>i) The 3rd paragraph of par. 1.2 is provided with a heading “1.2A Sketch Plans” and revised to reflect the abolition of the WAC.</p> <p>ii) The following new paragraph is added: The approval procedure, general control measures, and directives and guidelines applicable to building plans also apply to sketch plans, with the necessary changes.</p>
	<p>Par. 1.3 revised to reflect the abolition of the WAC and to describe the building plan approval procedure that must be followed by the Review Architect; and to provide for the making of general recommendations by the Review Architect.</p>
	<p>Par. 1.5 amended by—</p> <p>i) inserting the following paragraph after the 1st paragraph: If in Excom’s discretion relaxation or deviation is warranted, it must indicate this in a letter addressed to the Stellenbosch Municipality, which letter must accompany the signed as approved building plans submitted to the Municipality by the owner.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017 (continued)	ii) inserting the following paragraph after the 1 st paragraph: In terms of clause 61A.3 of the <i>WHOA Constitution</i> any relaxation or deviation allowed by Excom must be reported to owners at the next ensuing annual general meeting of the WHOA. iii) omitting the 3 rd paragraph to reflect the abolition of WAC.
	Par. 2.1.(1) amended by omitting the words "in special cases" in the 3 rd line.
	Par. 2.2.(2) amended by substituting "Review Architect" for "WAC".
	Par. 3.1: i) Par. (1) amended by substituting "the Welgevonden Administration Office" for "WAC"; and ii) Par. (2) amended by substituting the words "Administration Office to be stamped as approved by the Welgevonden Estate Manager" for "WAC".
	Par. 3.2: The heading amended by omitting "by WAC".
	Par. 3.2.(2) substituted by the following paragraph: 2) The architectural character of all new building(s), alterations and/or additions will be considered in relation to that of the development guidelines and other dwellings in the area as well as the aesthetic appearance, colour scheme and proposed siting of the building(s) and any other such factors that may be deemed suitable at the time of aesthetic approval.
	Par. 3.2.(3) amended by substituting "Review Architect" for "WAC".
	Par. 3.2.(4) substituted by the following paragraph: 4) If the Review Architect is satisfied that the building plans comply with the architectural directives and design guidelines, same must be forwarded to the Welgevonden Administration Office under cover of a letter indicating that the plans are aesthetically approved.
	After Par. 3.2.(4) the following new paragraph inserted: 4A) Upon receipt of the building plans and covering letter from the Review Architect, the Estate Manager must on behalf of Excom stamp and sign the building plans as approved, and inform the owner that the plans may be collected for submission to the Stellenbosch Municipality.
	Par. 3.2.(5): i) Par. (5) substituted by the following paragraph: Notwithstanding that the building plans may comply with all applicable restrictions, zoning, regulations and by-laws of the Stellenbosch Municipality and any other competent authority, the Review Architect, after consultation with Excom, as deemed necessary, may withhold aesthetic approval if the plans do not comply with the prescribed architectural directives and design guidelines: Provided that the approval of such plans shall not unreasonably be withheld. ii) The following Note added at the end: Note: See par. 1.4 — Disagreement or Dispute concerning Interpretation.
	Par. 3.2.(6) amended by substituting "Administration Office" for "WAC".
	Par. 3.3.(1) substituted by the following paragraph: Only after confirmation of aesthetic approval has been obtained may the building plans be submitted to the Stellenbosch Municipality for its approval.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017 (continued)	After Par. 3.3.(1) the following new paragraph inserted: Building plans submitted to the Stellenbosch Municipality must be accompanied by the letter indicating Excom's willingness to allow any relaxation or deviation proposed.
	Par. 3.4 substituted by the following paragraph: The building contractor must ensure that a copy of the building plans signed as approved by the Estate Manager and the Stellenbosch Municipality is at all times available on the site for inspection.
	<p>Par. 3.6 substituted by the following paragraph:</p> <p>3.6 Deviation of, or Variation from, Approved Building Plans</p> <p>1) If an owner intends to effect a deviation from, or variation of, the aesthetically approved building plans and finishes, or from any of the items approved by the Estate Manager, she/he must submit an application to that effect in writing to Review Architect and/or the Estate Manager, as applicable, for scrutiny prior to implementation thereof on site, and the deviation or variation may be implemented on site only if approved it in writing.</p> <p>If in the opinion of the Review Architect Excom's approval is required for a proposed deviation or variation, the request must be submitted to Excom together with the Review Architect's recommendation in writing, and the deviation or variation may be implemented on site only if Excom approves it in writing.</p> <p>2) If in the opinion of the Review Architect the approval of the Stellenbosch Municipality is also required for the proposed deviation or variation, the owner must submit an application to that effect to the Municipality, and the deviation or variation may be implemented on site only if the Municipality also approves it in writing.</p> <p>3) If the proposed deviation or variation entails a relaxation of, or deviation from, the architectural directives and design guidelines it must be dealt with as set out in Par. 1.3 — Review Architect and Par. 1.5 — Relaxation of, Deviation from, Architectural Directives and Design Guidelines above.</p> <p>4) All such applications must be in written form and no telephonic requests for approval of deviations or variations will be entertained.</p> <p>5) Rectification of any exterior elements, colours and materials not complying with the architectural directives and design guidelines and implemented on site without the prior written approval by the Review Architect and/or the Estate Manager, as applicable, will be for the account of the developer and/or owner concerned.</p> <p>6) An electronic copy in dxf format of record drawings ["as-built plans"] must be forwarded to the Administration Office prior to application to the Stellenbosch Municipality for the issuing of a certificate of occupation.</p> <p>Note: Failure to submit an electronic copy in dxf format of record drawings ["as-built plans"] to the Administration Office prior to application to the Stellenbosch Municipality for the issuing of a certificate of occupation, or to submit updated record drawings ["as-built plans"] of any alterations and/or additions, constitutes a breach of Estate rules and may result in the imposition of a fine and ultimately the refusal of consent to transfer.</p>
	<p>Par. 4 (a): The 2nd line of par. (a) is numbered "(b)" and substituted as follows:</p> <p>No deviations from, or variations of, the aesthetically approved plans and finishes, or from any of the items approved by the Estate Manager, may be implemented on site without the prior written approval of the Review Architect and/or the Estate Manager, as applicable, or, if required, the Stellenbosch Municipality.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017 (continued)	Par. 5.0.(f): The Note following par. 5.0.(f) amended by— i) omitting the words “the WAC on behalf of”; and ii) adding the following words at the end: , subject to any dispute being decided in the favour of the applicant
	Par. 5.1.2.(a) amended by substituting “the Review Architect” for “WAC”.
	Par. 5.3.2.(e) “ Shade cloth colour ” amended by inserting the words “to the Estate Manager” after the word “submitted”.
	Par. 5.3.3: i) Par. (a) amended by inserting the words “and bargeboard” after the word “fascia”; ii) Par. (b) amended by inserting the words “and bargeboard” after the word “fascia”; and iii) Exclusions amended by inserting the words “and bargeboards” after the word “fascias”.
	Par. 5.4.(e) amended by substituting “Review Architect” for “WAC”.
	Par. 5.4.1: i) Par. (a): The Note amended by substituting the words “Estate Manager prior to application on site” for “WAC”; and ii) Par. (d) substituted by the following paragraph: iii) Colour swatches of all exterior colours to be used must be submitted to the Estate Manager for provisional approval prior to the approved building plans being submitted to the Stellenbosch Municipality, and final approval will be given by the Estate Manager only once the building is under construction and 1 m ² of each colour to be used has been painted on a wall for final approval on site. iv) Par. (e): The Note following the Table amended by substituting “Estate Manager” for “WAC”.
	Par. 5.5.(f) amended by— i) inserting the words “and/or an adjacent public open space (green area),” after the word “street” in the 3 rd line; and ii) substituting “Review Architect” for “WAC and WHOA” in the last line.
	Par. 5.7 amended by – i) Par. (a) substituted by the following paragraph: a) Each erf may have a maximum of two single garage doors facing the street and parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on each Erf. ii) Par. (c) substituted by the following paragraph: Garage doors may be hardwood timber tip-up or sectional overhead type with horizontal (HWB) or vertical (VWB) pattern. Timber garage doors with vertical pattern are prescribed and preferred; however, metal and uPVC garage doors may be permitted, provided that the prior written approval of the Estate Manager has been obtained. Only “Coroma Coroflute” or similar approved sectional overhead metal garage doors with horizontal pattern, or similarly patterned uPVC garage doors, may be permitted. iii) Par. (f) amended by substituting “Review Architect” for “WAC”. iv) After par. (f) the following new paragraph inserted: (fA) The sides of a carport may not be closed off with any kind of screening such as Bluegum laths (“Bloekomlatte”) and “Spaanse Riet”, slats, mesh, shade cloth, canvas or similar, but must be left open.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017 (continued)	Par. 5.8.2.(b) amended by inserting the words "or varnished" after the word "painted".
	Par. 5.8.3.(c) amended by omitting the words "Where appropriate," at the beginning of the 2 nd sentence.
	Par. 5.8.4 amended by adding the following Exclusion : No solid wall balustrades allowed.
	Par. 5.10.1.(d) amended by omitting the words "As a rule" at the beginning of the 1 st sentence.
	Par. 5.13.(e) amended by substituting "Estate Manager" for "WAC".
	Par. 5.14.(a): i) Par. (ii) amended by substituting "Estate Manager" for "WAC"; and ii) Par. (iv) amended by inserting ", Polished Steel" after the word "Black".
	Par. 5.14.(c) amended by – i) adding the words " and Security Gates " to the heading; and ii) substituting "Estate Manager" for "WAC" in par. (iv).
	Par. 5.14.(f) amended by substituting "Estate Manager" for "WAC".
	Par. 5.14.(g) amended by— i) adding the words " and Tool Sheds " to the heading; ii) substituting "Estate Manager" for "WAC" in the 2 nd line; and iii) substituting "Administration Office or the Welgevonden Website" for "WAC" in the 4 th line.
	Par. 5.14.(h) substituted by the following paragraph: h) Awnings: Awnings are allowed if in a plain design without stripes and scallops and of a single colour matching the colour of the core building . Canvas awnings are preferred; however, aluminium awnings conforming to the design and colour directives for canvas awnings will be considered. Plans for awnings showing the proposed design and colour must be submitted to the Estate Manager for approval prior to installation. Exclusions: No fibreglass awnings and canopies are allowed.
	After Par. 5.14.(h) the following new paragraph inserted: i) Vertical Screening: Retractable vertical screening on patios, verandas and stoeps is allowed if of a plain design without stripes, in white or of a single colour matching the colour of the core building . Plans for vertical screening showing the proposed design and colour must be submitted to the Estate Manager for approval prior to installation.
	Par. 5.15.1: i) Par. (a) substituted by the following paragraph: a) It must be stressed that these architectural directives and design guidelines, Excom or the WHOA, or any of its employees or service providers, cannot guarantee visual or noise privacy.
	ii) Par. (b) amended by substituting "Review Architect" for "WAC".
	Par. 6.0: The existing Note is numbered " 1 ", and the following Note is added: Note 2: For the procedure to be followed when Excom is willing to allow the proposed relaxation of any architectural directive or guideline specified in par. 6.0, see par. 1.3 — Review Architect and par 3.3 — Submission to

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 August 2017 (continued)	Stellenbosch Municipality.
	<p>Par. 6.3: The following new paragraph added:</p> <p>6.3.3 Definition of "Storey"</p> <p>For the purposes of par. 6.3 "storey" means a single level of any building, measured from finished floor level to finished floor level of the storey above, or to the ceiling in the case of the top storey. A roof-space utilised or intended to be utilised for the purpose of human habitation is also regarded as a storey. If the ceiling level varies, the mean ceiling level will be calculated. If the maximum of one storey is permitted, the height of the storey may not exceed 4 meters; if two storeys are permitted, the storey height may not exceed 8 meters and so forth.</p> <p>Note: See the applicable <i>Stellenbosch Municipality Zoning Scheme Regulations</i>.</p>
	Par. 7.0 amended by substituting "Administration Office or the Welgevonden Website" for "Excom" in the 2 nd paragraph.
	Par. 8.0 amended by substituting "the Administration Office or the Welgevonden Website" for "Excom".
	<p>Par. 9.0.(b) substituted by the following paragraph:</p> <p>b) Building plans must be prepared in accordance with these architectural directives and design guidelines for examination and aesthetic approval by the Review Architect, and approval of the Estate Manager must be obtained as prescribed herein.</p>
24 October 2019	Par. 1.5 amended by substituting "clause 61A.3" for "clause 67.3".
	<p>Par. 5.5.(f) substituted by the following paragraph:</p> <p>f) Sliding / folding / stacking doors (where the structural opening exceeds 1750 mm in width), will only be permitted if these doors are screened with a timber pergola structure and recessed at least 1500 mm behind the outer line of a deep patio / veranda / stoep, subject to the approval of the Review Architect</p> <p>This amendment does not extend to frameless glass doors. (See 2nd exclusion added: "No frameless glass doors allowed.")</p>
	<p>Par. 5.11A: The following new paragraph added:</p> <p>5.11A CONVERSION OF GARAGES</p> <p>Architectural drawings showing the proposed changes must be submitted to the Review Architect for approval prior to the conversion.</p> <p>a) The conversion should be designed as to complement the existing dwelling and the new room must form an integral part of the main dwelling. It may not be constructed as a self-contained unit or alternative entrance to the dwelling.</p> <p>b) The Garage door(s) may only be replaced by a window or windows and such windows must comply with the guidelines as stipulated in paragraph 5.5</p> <p>Parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on the Erf. High density living is reliant on on-site parking and the Manager or Review Architect may decline an application which affects the on-site parking detrimentally.</p>
	<p>Par. 5.14.(f) substituted by the following paragraph:</p> <p>i. No "Porta Pools" or similar pools above ground level are permitted.</p> <p>ii. No swimming pools will be allowed over the street building line.</p> <p>iii. The position of the pool, pump and filter must be shown on plan, elevation and section submitted for approval.</p> <p>iv. The position of the pool pump and filter must be hidden from view from any public area or street.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
	v. The position, colour and design of all swimming pools are subject to final approval by the Review Architect.
24 November 2022	
Background	<p>In the 2022 revision of the <i>WFOA AD&DG</i> the “Welgevonden Estate architectural language”, based upon “regional Cape architecture” interpreted with the local vernacular of Stellenbosch in mind, is maintained. However, the evolving requirements of a built-up, mature estate require a fresh look at modern building materials and complementing styles.</p> <p>A number of grammar and style changes have been effected, without changing context or meaning.</p> <p>Footnotes have been added to get rid of a number of “Notes” with content that could be managed better in this way.</p> <p>Reference to the “Welgevonden Development” has for the most part been replaced with “Welgevonden Estate” as the development phase of the Estate has been completed. In the same manner reference to “developer” has been changed to “contractor”.</p> <p>“Reviewing Architect” has been replaced by the more appropriate “Review Architect”.</p> <p>Reference to “Welgevonden office” has been changed to “Welgevonden Estate Office” to provide clarity to instructions.</p>
Notes	<p>“Notes” applicable and referring to Area 1 and 2 (introductory pages of the <i>AD&DG V7</i> – 26 November 2020) are, with the exception of Note (10) relocated to this, the Schedule of Revisions.</p>
	<p>Notes (1) – (9)</p> <p>(1) These architectural directives and design guidelines are subject to periodic revision as deemed necessary.</p> <p>(2) The Architectural Guidelines for Area 1 as per document dated 1 October 2003 were superseded and replaced as per document dated 11 April 2012.</p> <p>(3) The Architectural Design Guidelines for Area 2 dated 21 May 2010 were revised and updated to include the Architectural Guidelines for Area 1 as per document dated 11 April 2012.</p> <p>(4) The Planning Guidelines approved for Area 1 as per Architectural Guidelines Document dated 1 October 2003 par. 11.0 remained unchanged and are included in the document dated 11 April 2012 under Annexure C.</p> <p>(5) The administrative procedures relating to the processing of building plans were revised on 27 November 2014, but the architectural directives and design guidelines remained unchanged as per document dated 11 April 2012.</p> <p>(6) The architectural directives and design guidelines were amended on 29 September 2015 as indicated in the Schedule of Revisions.</p> <p>(7) The architectural directives and design guidelines, and the administrative procedures relating to the processing of building plans, were amended on 21 August 2017 as indicated in the Schedule of Revisions so that this Version 8 – 21 August 2017 replaces all previous versions to date.</p> <p>(8) The architectural directives and design guidelines were amended on 24 October 2019 as indicated in the Schedule of Revisions so that this Version 9 – 24 October 2019 replaces all previous versions to date.</p> <p>(9) The version number of the architectural directives and design guidelines, Version 9 – 24 October 2019, as indicated in the Schedule of Revisions, is replaced by this, Version 7 – 26 November 2020 to ensure continuity as the last version approved by the Stellenbosch Municipality was Version 6 – 29 September 2015.</p> <p>NOTE: The contents of Note (10) “This document consists of ...” is relocated to the front page of the document.</p>
Definitions	<p>A new par. 1.0A is inserted to include a number of definitions relevant to the <i>AD&DG</i>.</p> <p>New definitions inserted:</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
24 November 2022 (continued)	1.0A.1 "Building plan" 1.0A.2 "Excom" 1.0A.3 "Prescribed fee as per Control Measures" 1.0A.4 "Review Architect" 1.0A.5 "Welgevonden Estate Office" 1.0A.6 "WHOA"
General	Par. 1.1 is revised by: <ul style="list-style-type: none"> • omitting the third paragraph "The architectural directives ..."; • omitting the second sentence in the fourth paragraph "The architectural directives and design guidelines seek to protect ..." • omitting the "Note" following par. 1.1 referring to Annexure A, as it is no longer relevant within this context.
	Footnotes 1-3 were added for referencing purposes.
Building Plans	Par. 1.2: In the second line of the first paragraph the words "... at the address determined by Excom ..." are omitted, and the words "... to Excom ..." inserted. The first sentence of the second paragraph, "For the purposes of these architectural directives and design guidelines building plans means design drawings and specifications", is relocated to a new definition 1.0A.1 – "Building plans". The words "Building plans need to be submitted ..." are inserted before the remaining words "... for the construction of ..."
Sketch Plans	Par. 1.2A: The following second sentence is inserted in the first paragraph: "It will be the responsibility of the Review Architect to confirm with Stellenbosch Municipality if approval will be required."
Review Architect	Par. 1.3: In the fifth line of the second paragraph the words "... by the owner or her/his agent ..." are inserted after the words "... made in writing ..." The " Note " following the second paragraph is omitted, its content relocated to footnote 4 . The " Note " following the fourth paragraph is omitted, its content relocated to footnote 5 .
Preparation of Building Plans	Par. 2.1: (1): The acronym (SACAP) is inserted after words "South African Council for the Architectural Profession", omitting the words "... however, a waiver to this condition can be approved should the required design standards be met." The sentence: "The registration must be current and valid at the time of submission." is inserted after (SACAP). The last sentence of (1) is revised to include the words "... or submitted by unregistered professionals ..." after the word "design". A new paragraph (1A) is inserted to formalise the requirements for sketch plans. The " Note " referring to colour approval procedures and selection, with reference to par. 5.4.1. and par. 5.5.1. is omitted.
Restrictions	Par. 2.2: (1) The first sentence is revised with the following words omitted: "... individual phases in the ..." and "... Development..." The word "... Estate ..." is inserted to reflect current practice.
Format of Building Plans	Par. 3.1: (1), (4) and (5) are omitted to comply with current regulations relating to the format and submission criteria for building plans in the Stellenbosch Municipal area. (2) is revised to read: "An electronic copy of the building plan must be submitted in PDF format via e-mail to the Welgevonden Estate Office." (3) is revised to read: "Approved submissions will be electronically stamped by the Estate Manager / the Welgevonden Estate Office once aesthetically

DATE OF AGM	DESCRIPTION OF AMENDMENTS
24 November 2022 (continued)	approved. The Welgevonden Estate Office will issue a Letter of Approval to accompany the submission to the Stellenbosch Municipality."
Processing of Building Plans	<p>Par. 3.2: (2), (3), (6) and (7) are omitted in compliance with current practice and Municipal requirements.</p> <p>A new paragraph (1A) is inserted reading: "The Welgevonden Estate Office will issue an invoice for the applicable plan examination and approval fee to the owner. No review of the submitted plans will take place unless payment is received." to make provision for current procedure.</p> <p>Par. (4A) is revised inserting "... and e-mail it to the owner, informing her/him that the plans may be submitted to the Stellenbosch Municipality." to make provision for current procedure.</p> <p>The "Note" following (5) is relocated to footnote 6.</p>
Submission to Stellenbosch Municipality	<p>Par. 3.3: (1A) is revised to include the words "..., if applicable." following the words "... deviation proposed ..." at the end of the sentence.</p> <p>Three new pars. are inserted to make provision for current practice and to comply with regulations: (3) "An electronic copy ...", (4) "Any proposed deviation ..." and (5) "The deviation or ..."</p>
Availability of Building Plans on Site	<p>Par. 3.4 is omitted, and the content is relocated to the "<i>Control Measures to Regulate the Performance of Services and Building Work</i>" issued by the Excom in accordance with Clause 59A of the <i>WHOA Constitution</i>.</p> <p>Footnote 7 is inserted.</p>
Prior to Commencement of Building Work	<p>Par. 3.5.(2) is omitted and the content relocated to the "<i>Control Measures to Regulate the Performance of Services and Building Work</i>" issued by the Excom in accordance with clause 59A of the <i>WHOA Constitution</i>.</p> <p>Footnote 8 is inserted.</p>
Deviation of, or Variation from, Approved Building Plans	<p>Par. 3.6: All subparagraphs of par. 3.6, except (5), are omitted in compliance with current practice and municipal requirements.</p> <p>The content of (5) "Rectification of any ..." is included, unnumbered, under the heading.</p> <p>The word "... developer ..." in the last line is replaced by "... contractor ..." to comply with the current reality.</p>
Control of Building Work	<p>Par. 4.0.(b) is revised to make provision for current approval regulations, omitting the words "and/or" and inserting the words "... electronically signed and stamped by ..."</p>
Architectural Style and Elements	<p>Par. 5.0: (b), (c), (d) and (e) are omitted to comply with current practice, to eliminate repetitive content and to ensure cohesion in these guidelines.</p> <p>The content of (a) "In order to achieve ..." is retained, unnumbered, under the heading.</p>
Roofs (General)	<p>Par. 5.3.1: (c) Footnote 9 is inserted after the last sentence to provide the details of par. 5.4.1 that stipulates the specifications of the roofing material of the core building. The roofing material of abutments, garages and/or carports must match that of the core building.</p> <p>(e) The pitch of a lean-to veranda roof of "15 degrees" is revised to read "5 degrees".</p>
Roof Finishes	<p>Par. 5.3.2: (b) "Victorian S-Profile roof sheeting, Klip-Lok, or similar concealed fixed roof sheeting" replaces "Everite" Victorian S-profile roof sheeting or similar approved, painted." "The colour "Dove Grey" is added to the specified roof sheeting colours following (b).</p> <p>(c) is omitted as the use of shade cloth is no longer allowed.</p> <p>(d) is revised with the words "... screened behind horizontal beams or fascias</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
<p>24 November 2022 (continued)</p>	<p>in order not to be visible from any side elevation." inserted at the end of the sentence.</p> <p>(e) The words "... or fascias ..." are inserted after "... horizontal beams ..." in the third line. The last sentence of (e) is revised to read: "The louvre frame and louvre blades must be white, alternatively powder-coated Dove Grey, Dark Dolphin or Charcoal to match the main roof." "Dove Grey" is added as a colour in the fourth line.</p> <p>A paragraph "Shade cloth colour" is omitted after the "Note" "Shade cloth colour: Only Dark Grey shade cloth may be used. Colour to be submitted to the Estate Manager for approval prior to installation." as the use of shade cloth is no longer allowed.</p> <p>A new paragraph, (f) is inserted, reading "Polycarbonate sheeting may be used as a cover on roofs over patios. However, said materials may not be visible when viewed from below and must be screened from view behind horizontal beams or fascias in order not to be visible from any side elevation. The sheeting must also be visually concealed from below using timber slats with no gap wider than 25 mm between."</p> <p>The "Note" following (f) is revised, with the words "will be" in the first line replaced with "will not be".</p> <p>The first exclusion following the "Note" is revised with the words "... may be used ..." inserted after "... cloth ..." in the first line, and the words "... except for the carport is allowed ..." omitted at the end.</p> <p>"Exclusions": The last exclusion is revised to include the words "... and/or ..." after "... perspex ...", with the following words omitted "... and/or polycarbonate sheeting ..." before "... may be used."</p>
<p>Fascias and Bargeboards</p>	<p>Par. 5.3.3: The paragraph "Colour:" following (b) is revised word "colour" after the word "... Chromadek ..." replaced by "colours", and "Dove Grey or Charcoal" inserted after "... Dark Dolphin ..."</p>
<p>Gutters and Rainwater Downpipes</p>	<p>Par. 5.3.4 "Colour": The word "colour" after the word "... Chromadek ..." is revised to read "colours", with the words "Dove Grey, Charcoal or" inserted before "... Dark Dolphin ..."</p>
<p>Windows, Doors and Shutters</p>	<p>Par. 5.5:</p> <p>(a) The following content under (a) is omitted "Only vertically proportioned doors, windows, shutters, and windows and shutters with a 1:1,5 width to height ratio, will be allowed." and replaced by the inserted content starting with "Windows should have a rectangular vertical proportion. Horizontally proportioned feature windows may in some instances be permitted subject to the approval of the Review Architect ...".</p> <p>(dB) is revised with the words "... doors, ..." inserted before "... windows ...".</p> <p>(e)(ii) is revised with the following content of (ii), and the first bullet, omitted as follows:</p> <p>(ii) "Where the core building and/or outbuildings are positioned 1,5 m or less from one of the side boundaries the following directives apply: "No roof space windows will be allowed on the side where the core building and/or outbuilding(s) are positioned 1,5 m or less from one of the two side boundaries, and.."</p> <p>(e)(ii) will in future only comprise of the following: "The right of the adjacent owner(s) and views from adjacent residences will be considered when the plans are submitted for aesthetic approval."</p> <p>(f) is revised with the following content omitted: "Sliding/folding/stacking doors (where the structural opening exceeds 1 750 mm in width), will only be permitted if these doors are screened with a timber pergola structure and recessed at least 1500 mm behind the outer line of a deep patio/veranda/stoep, subject to the approval of the Reviewing Architect", and the following sentence inserted "Sliding / folding / stacking doors will be permitted subject to the approval of the Review Architect."</p> <p>(g)(ii) is revised with "... and any deviation will be to the discretion of the Review Architect;" inserted after "... storey ..."</p> <p>A new paragraph (g)(vii) is inserted, reading "Frameless glass doors may</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
24 November 2022 (continued)	in some instances be permitted subject to the approval of the Review Architect." Exclusions: Omitted – the first exclusion (No horizontally ...), the second (No frameless ...) and the sixth (No steel ...).
Garages and Carports	Par. 5.7: (a) is revised to read: "Each erf may have a maximum of two single garage doors or one double garage door facing the street, and parking space conforming to the dimensions as per SANS 10400 for a minimum of two cars must be provided on each Erf." (b) is omitted: "Only garage doors of max. 2440 mm (structural opening width) may be used. A double garage must comprise two single garage doors next to each other separated by a prescribed 450 mm wide brick column, plastered and painted." (fA): The second paragraph "Also see guidelines on roof coverings for garages and carports included under par. 5.3.1.(c)" is omitted. Exclusions: The second exclusion, "No double-width garage doors." is omitted.
Verandas, Pergolas and Columns	Par. 5.8.1: (a) The pitch of a lean-to veranda roof of "15 degrees" is revised to read "5 degrees". (b) is revised with the following words inserted: "- aluminium sections proportioned to match standard timber sizes may in some instances be permitted, subject to the approval of the Review Architect. A mixture of timber and aluminium are not allowed." (c) is revised with the following paragraph inserted: " (iv) Aluminium square posts proportioned to standard timber sizes, subject to the approval of the Review Architect." (e) is revised inserting the words "... screened behind horizontal beams or fascias in order not to be visible from any side elevation." "Colour" is revised with the following inserted: "iii) Aluminium – pre-painted in any one of the approved accent colours as listed under par. 5.5.1.(d) above." Exclusions: The first exclusion is revised with the following words omitted: "... except carports (refer to relevant paragraph above...)"
Corner Brackets	Par. 5.8.2.(b) Colour is revised omitting the unnecessary number (i), resulting in the content "Timber – varnished ..." included unnumbered under the heading.
Balconies	Par. 5.8.3: (b) The following words are omitted at the beginning: "Balconies may not be too big (maximum size 20 m ²) and ..." (c) The second sentence is omitted: "The balcony floor can be tiled." (e) "Colour" is revised omitting the unnecessary number (i) resulting in the content "Plaster on vertical ..." included unnumbered under the heading.
Boundary Walls	A new paragraph 5.10.1.(h) is inserted: "To create privacy screening between properties boundary walls may in some instances be raised to a maximum height of 2400 mm using a galvanised mild steel frame clad on all sides with Nutec Clad Boarding. These screens must be painted to match the wall colour and is subject to the approval of the owners of the neighbouring property and the Review Architect. This screening will not be allowed on any walls visible from the streetscape."
Gates	Par. 5.10.2.(a) is revised with the second sentence of the paragraph reading as follows omitted: "Only gates in a vertical proportioned design may be used. Patterns on gates must read vertical rather that horizontal."

DATE OF AGM	DESCRIPTION OF AMENDMENTS
24 November 2022 (continued)	
Compost, Fertilisers ...	Par. 5.12.3 is revised omitting the unnecessary number (a), resulting in the content "The use of organic ..." included unnumbered under the heading.
Service facilities / ...	<p>Par. 5.13:</p> <p>(b) is revised with the words "... as far as possible ..." inserted after "... dishes must ..." in the first line, and the sentence "All television aerials or satellite dishes must be maintained and kept in a good condition." inserted as a third sentence.</p> <p>New paragraphs inserted:</p> <p>(f) "Photovoltaic Panels (PV) will be allowed. The angle at which the panel is mounted must lie flush with the roof, and the frame and fittings must match the roof colour. Detail fitting arrangement and position of equipment must be shown on plan, and elevation submitted to the Review Architect for approval." and</p> <p>(g) "Water storage tanks for the purpose of stormwater harvesting may be installed only at the back of the house in an enclosed back yard and may not be visible from the street or public open spaces. Stormwater pipes and downpipes must be treated discreetly. No tanks will be allowed on the street side of the property. Detail of tanks, positioning and equipment must be shown on plan and elevation submitted to the Review Architect for approval."</p>
Miscellaneous and General	<p>Par. 5.14:</p> <p>(e) is revised, with the contents of (ii) "Exposed circular steel flue pipes may only protrude through the roof to a max length as prescribed in the National Building Regulations." omitted, and replaced by "Any exposed circular flue pipes will be allowed to the discretion of the Review Architect."</p> <p>(i) The words "- subject to approval by the Review Architect." is inserted at the end of the first paragraph.</p>
Planning Guidelines	Par. 6.0: In line with current practice, the heading of this paragraph is revised with the words "... FOR AREA 2" omitted.
Zoning	Par. 6.1: The last words in the sentence "Welgevonden Area 2" is replaced with "Welgevonden Estate".
Group Housing	<p>Par. 6.4.1.(d) is revised with the following inserted at the end after "... prior approval." "Architectural professionals must indicate Coverage under the following subsections:</p> <p>i) Coverage of interior areas i.e. core building, abutments and enclosed stoeps to form part of the interior.</p> <p>ii) Coverage of non-enclosed areas i.e covered stoeps, covered carports and covered pergolas that do not form part of the interior.</p> <p>iii) Total Coverage including all areas mentioned in (i) and (ii) above."</p>
Other Categories of Zoning	Par. 6.4.2 is revised omitting the unnecessary number (a), resulting in the content "Coverage and ..." included unnumbered, under the heading.
29 November 2023	
Definitions	Par. 1.0A.1 is amended with the word "... electronically ..." inserted after "... submitted ..."
Building Plans	<p>Par. 1.2 is amended to include reference to "electronic" building plans and the "electronic" submission of building plans to comply with current requirements. A new third paragraph is inserted to read: "No hard copy (paper) building plans will be accepted."</p>
Sketch Plans	<p>Par. 1.2A is amended to include "... in electronic format" after "... sketch plans ..." in the second line.</p> <p>A new third paragraph is inserted to include that sketch plans shall be accepted in electronic format and that no hard copy (paper) sketch plans shall be</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
29 November 2023 (continued)	accepted.
Preparation of Building Plans	Par. 2.1.(2)(c). A new third paragraph is inserted to include that building plans shall only be accepted in electronic format and that no hard copy plans shall be accepted.
Format of Building Plans	Par. 3.1(2) is amended to make provision for electronic copies of building plans to be submitted in PDF format via e-mail or storage device / facility.
Processing of Building Plans	Par. 3.2.(4) is amended to include the word "... electronically ..." after "... forwarded ..." in the second line.
Processing of Building Plans	Par. 3.2.(4A) is amended to include the electronic submission of building plans to the Welgevonden Estate Office, if the Review Architect is satisfied, as well as plans being approved and signed electronically. It also mentions that a member may submit the approved plans electronically to the Stellenbosch Municipality after having been notified of its approval by the WHOA.
Submission to Stellenbosch Municipality	Par. 3.3.(1A) is amended to make provision for the electronic submission of building plans to the Stellenbosch Municipality, accompanied by the electronic confirmation of Excom's willingness to allow the relaxation or deviation.
	Par. 3.3.(3) is amended to include the words "... electronic approval notice ..." after "... Municipality's ..."
	Par. 3.3.(4) is amended to include the word "... electronically ..." after "... submitted..." in the second line.
Control of Building Work	A new par. 4.0.(c) is included to read that "No new building work shall be allowed, or structures to be erected, without prior approval of the WHOA, and – if approved by the WHOA and where required, the subsequent approval of the Stellenbosch Municipality." A new note is added: "Breach of this rule will be penalised i.t.o. the <i>WHOA Control Measures to Regulate the Performance of Services and Building Work, Control Measure 7.2.</i> "
Exterior Colours for Windows, Doors and Shutters	A new note is added to par. 5.5.1.(c) to read: "Only one of the approved colours shall be used for all aluminium windows, doors and shutters on any dwelling or structures on a property."
	A new note is added to par. 5.5.1 (cA) to read: "Only one of the approved colours shall be used for all aluminium windows, doors and shutters on any dwelling or structures on a property."
Conversion of Garages	The content of par. 5.11A is omitted and replaced by a determination that no conversion of garages is allowed. A new note added: "Breach of this rule will be penalised i.t.o. the <i>WHOA Control Measures to Regulate the Performance of Services and Building Work, Control Measure 7.3.</i> "
Soft Landscaping (General)	Par. 5.12.1.(f) and its subsections par. 5.12.1.(f)(i) to 5.12.1.(f)(v) are included to formulate regulations to promote the greening (soft landscaping) of the Estate, and to limit hard landscaping and the removal of trees.
Service Facilities / ...	Par. 5.13.(e): "Estate Manager" in the last line is replaced by "Review Architect".
	Par. 5.13.(f) is amended to include the words "solar panels" in the brackets and to indicate that the position of equipment must be shown on a "roof plan" and submitted in "electronic format" to the "Welgevonden Estate Office".
Miscellaneous and General	Par. 5.14.(c)(i) is amended to clarify that only burglar bars must be internally mounted, not security gates as well.
	Par. 5.14.(c)(iv) "Estate Manager" is replaced by "Review Architect".
Future Alteration ...	Par. 9.0.(b): A new note referring to par. 4.0.(c) is inserted.

DATE OF AGM	DESCRIPTION OF AMENDMENTS
21 November 2024	
Contents page	Par. 5.13 is amended adding "... / SCREENING" to the heading.
Building Plans	Par. 1.2: A 4 th paragraph "Validity of WHOA Approval" is included to regulate the period of validity of the WHOA's approval of building plans.
Control of Building Work	Par. 4.0 is amended adding two new paragraphs to regulations regarding (d) owner's liability, and (c) reasonable, controlled access to neighbouring property to complete building work.
Boundary Walls and Gates	<p>Par. 5.10.1(e) is amended as follows:</p> <p>(e) Omitting Palisade-type walling and stipulating that, going forward, walling on all common property open spaces and green areas, as well as private property garden walls on the street side, shall be steel balusters spaced between brick columns with matching steel gates. Sizes provided.</p> <p>Notes: Omitting: Sizes given above are only a guide, and adding or revising: (i) walling subject to Review Architect's approval, (ii) NBR SANS Regulations reference updated, (iii) Existing steel Palisade-type fencing remains acceptable, (iv) No decorative details allowed.</p> <p>(f) Specifying the colour of mild steel tubing balustrades (black or pure white).</p> <p>(h) Adding "... or PVC screening ..." and "... or pure white ..."</p> <p>"Exclusions" following (h): Stipulating that Clear View / ClearVu fencing is NOT permitted.</p>
Soft Landscaping	Par. 5.12.1(d) is amended by including the correct web reference for SANBI.
Service Facilities / ...	<p>Par. 5.13(a) is amended, its numbering extended, to:</p> <p>(i) include common property open spaces, (ii) regulate the screening of refuse bins, (iii) regulate the installation of new air conditioning condenser unit and its indication on building plans, (iv) regulate the screening of existing air conditioning condenser units, and (v) to specify the appearance of and materials to be used for screens, and the approval process.</p>
Miscellaneous and General	<p>Par. 5.14(c) is amended, omitting burglar bars built into window frames, i.e. Swartland Timber as a preferred option; and by adding details to clarify the placement, colour, and design of burglar bars and security gates, and the approval process that apply.</p>
	A new Par. 5.14(j) is added to stipulate how the WHOA may use Clear View / ClearVu fencing for security purposes with Excom approval.
24 November 2025	
2025 – Administrative revision of <i>Constitution</i>	In 2025, Excom, with legal counsel, reviewed the WHOA statutory documents and made minor administrative editorial revisions to improve clarity and consistency, without changing meaning or intent. Details were filed with the 2025 AGM minutes, and revisions were applied across all statutory documents.
Preparation of Building Plans	Par. 2.1(1) is amended to include that building plans may only be undertaken, prepared and submitted by professionals registered with the South African Council for the Architectural Profession (SACAP), and that they must provide a valid and current Proof of Registration with SACAP with every submission.
Roof Finishes	<p>Amended to omit discontinued brands and to insert currently available and preferred products</p> <p>Par. 5.3.2(a): Discontinued "Colomet" is omitted. Only "Chromadek" to be used in the future.</p> <p>Par. 5.3.2(e): Discontinued brand "Eclipse" is omitted, and replaced with "Verilux/Foldo", or similar approved openable aluminium louvre blade roofing.</p>

DATE OF AGM	DESCRIPTION OF AMENDMENTS
Exterior wall colour selection	<p>Par. 5.3.4 Gutters and Rainwater Downpipes</p> <p>Existing colour options are removed, with colour options being made available in two colour tables, par. 5.4.1(a), Table A (roof colours and gutters) and par. 5.4.1(b), Table B (other external features/components (Aluminium, uPVC and other) to simplify the process.</p>
EXTERIOR MASONRY WALL FINISHES	<p>Par. 5.4(a): Omitted second sentence "Accent colours as per the colour schedule below, are encouraged for these elements" as accent colours optional but not recommended in future.</p>
Garages and Carports	<p>A new par. 5.7(aA) is inserted, reading: "Proposals <i>requiring plan approval</i> for any new or renovated dwelling shall, from this date forward, include a minimum of one single garage for the parking of a motor vehicle."</p>
Exterior Wall Colour Selection	<p>Par. 5.4.1 The current pocket system (2015) and the content of par. 5.4.1(a) to 5.4.1(e) are omitted and replaced by a new colour selection process, based upon par. 5.4.1(a), Table A and par. 5.4.1(b), Table B presenting eleven (11) wall colour options and a wide range colour options for other external features/components (Aluminium, uPVC and other). This will simplify decisions for members when they paint or renovate their dwellings.</p> <p>All new and existing structures in the Estate must be painted/repainted in accordance with the approved Plascon colours specified in these tables. The use of accent colours for abutments and plaster bands is optional.</p>
Garages and Carports	<p>A new par. 5.7(aA) is inserted to include that proposals requiring plan approval for any new or renovated dwelling shall include a minimum of one single garage for the parking of a motor vehicle in future.</p>
Garages and Carports	<p>Par. 5.7(c) is amended to exclude the sentence: "Only "Coroma Coroflute" or similar approved sectional overhead metal garage doors with horizontal pattern, or similarly patterned uPVC garage doors, may be permitted."</p>
Hard Landscaping – paving and driveways	<p>The following subsections of Par. 5.11 are amended:</p> <p>Par. 5.11(b) to insert "... 100 mm x 100 mm ..." at the and omit "as per "Pavatile" or similar approved.'</p> <p>Par. 5.11(c) is omitted: "Bush Stone" with brick edging as per "Grinaker Precast" or similar approved.'</p> <p>Par. 5.11(d) to omit: "Natural stone chip paving blocks with cobble edging as per "Pavatile" or similar approved", and to insert: "Exposed aggregate cement pavers colour to be: Table Mountain Sandstone with De Hoop Red Brick edging"</p> <p>Par. 5.11(e), to omit: "Boland or Constantia Straight Edge Pavers" as per "Smartstone" or similar approved", and to insert: "Smartstone colour options for the Straight edge paver – colour Suggestion: Yellow Sand Stone, Charcoal, Natural Concrete".</p> <p>Par 5.11(f): Clause reading "Yorkstone Straight Edge Pavers and Garden Steps" as per "Revelstone" or similar approved," is omitted.</p>
SMALL HOLDINGS	<p>Par. 8 is omitted as it is not applicable anymore.</p> <p>"SMALL HOLDINGS - As far as par. 6.0 — Planning Guidelines is concerned, separate guidelines for the smallholdings have been prepared and approved and are available on request from the Estate office or the Welgevonden website."</p>
Amendment to Annexure B below.	<p>Annexure B (below) SPECIFIC ARCHITECTURAL GUIDELINES FOR WELGEVONDEN, STELLENBOSCH PERTAINING TO THE AREA IMMEDIATELY ADJACENT TO WELTEVREDEN FARM is amended by:</p> <p>1. In items. 6.1 and 7.1 omitting the "colour "... monument green ..." and replacing it with "... black ('Plascon' colour code RAL 9005) or white and black combined."</p>

**SPECIFIC ARCHITECTURAL GUIDELINES FOR WELGEVONDEN, STELLENBOSCH
PERTAINING TO THE AREA IMMEDIATELY ADJACENT TO WELTEVREDEN FARM**

This document consists of 3 pages in total.

IN ADDITION to the general approved Architectural Design Guidelines for the Welgevonden Development - Area 2, the following specific guidelines are applicable to Welgevonden erven 15286 to 15297; 15464; 15463; 15462; 15453; 15448; 15447; 15434 and 15433 to ensure that the aesthetic and architectural requirements for the development of these erven are met.

In the event of a contradiction between this Specific Architectural Guidelines and the general approved Architectural Design Guidelines for the Welgevonden Development - Area 2, then the Specific Architectural Guidelines will apply.

1. SCALE AND PROPORTION

1.1 Careful consideration must be given to the scale, proportion and articulation of building forms, as these, together with their roofs and the openings in their walls, are the most important elements in establishing the cohesion and continuity of the architectural character.

2. BUILDING HEIGHT RESTRICTION AND BUILDING LINES

- 2.1 All houses on erven 15286 to 15297 shall be restricted to single storey loft structures built strictly in accordance with sketch plans no. S3533 - 100 to 104 as prepared by Dennis Moss Partnership annexed hereto marked "B1" to "B5".
- 2.2 All houses on erven 15464; 15463; 15462; 15453; 15448; 15447; 15434 and 15433 shall be restricted to double storey structures in accordance with the general approved Architectural Design Guidelines for Welgevonden Development, Area 2 for which guidelines are available for inspection at the offices of Dennis Moss Partnership, 17 Market Street, Stellenbosch.
- 2.3 Building heights and building lines for erven 15286 to 15297 shall be strictly in accordance with sketch plans no. S3533-100 to 104 as noted under par. 2.1 above. Wallplate heights are limited to 3 600 mm from finished floor level. The height from finished floor to the ridge of the pitched roof is limited and specific per erf as shown on sketch plans no. S3533-100 to 104 and may not exceed 6 700mm.
- 2.4 Building lines for erven 15464; 15463; 15462; 15453; 15448; 15447; 15434 and 15433 shall be in accordance with the general approved Architectural Design Guidelines for Welgevonden Development, Area 2.
- 2.5 Ceiling heights for erven 15286 to 15297 shall be (all to comply with the National Building Regulations SABS 0400):

	Rooms or space	Minimum Height
2.5.1	Bedrooms:	2 400 mm over a floor area of at least 6 m ² with a clear height of at least 1 800 mm at any point more than 750 mm from the edge of the floor space.
2.5.2	Other habitable room:	2 400 mm over a minimum of 70% of floor areas, and not less than 2 100 mm over the remaining floor areas.

- | | | |
|-------|-----------------------------------|---|
| 2.5.3 | Passage: | 2 100 mm |
| 2.5.4 | Bathroom, or room containing a WC | 2 100 mm over any areas where a person would normally stand |

3. **HOUSE FORM / SPATIAL ENVELOPE**

- 3.1 House forms shall be made up of major and minor plan elements, and the widths shall be controlled. Plan form must conform to the traditional "letter of the alphabet" building form as detailed under par. 5.1.1 in the general approved Architectural Design Guidelines for Welgevonden Development, Area 2. Major plan elements (core building) shall be 4 000 mm minimum to 7 000 mm maximum wide. Minor plan elements (abutments) in the shape of lean-to's or "afdakke" unless between major plan elements, may not be more than two thirds of the primary width. Continuous lean-to's around corners from side walls to gable wall will not be permitted.
- 3.2 Outbuildings must respond to the form and geometry of the main building if they are free-standing. Their eaves or bottom of the parapet line shall be lower than the eaves line of the main building. Parapets on boundaries may not exceed 3 000 mm in height. Outbuildings shall not exceed 30% of the total area of the main building.

4. **ROOFS**

- 4.1 Major roofs (the core building) shall be double pitched and coincide with major plan elements. Pitches shall be symmetrical about their ridges and may only have a slope between 35° and 40°. Lean-to roofs and those over verandas and minor plan elements such as abutments shall be between 5° and 15°. The area of minor roofs, excluding garages, should not exceed one third of the major roof area. The roof covering material and colour are prescribed as detailed in the general approved Architectural Design Guidelines for Welgevonden Development, Area 2 (Refer par. 5.3.2, roof finishes). Roof eaves overhangs shall be clipped.

5. **WALLS**

- 5.1 External masonry walls shall be finished with at least one coat smooth plaster and may only be painted in colour pure white. No relaxation of this rule will be considered.

6. **WINDOWS**

- 6.1 Windows shall have a vertical proportion of not less than 1:1,5. Windows and frames may only be painted white, black ('Plascon' colour code RAL 9005) or white and black combined. External burglar bars will not be permitted.
- 6.2 Windows to the loft areas are to be dormer type. The dormer window roof covering shall match that of the main roof in material and colour. Windows in gable ends and central gables are acceptable.

7. **DOORS**

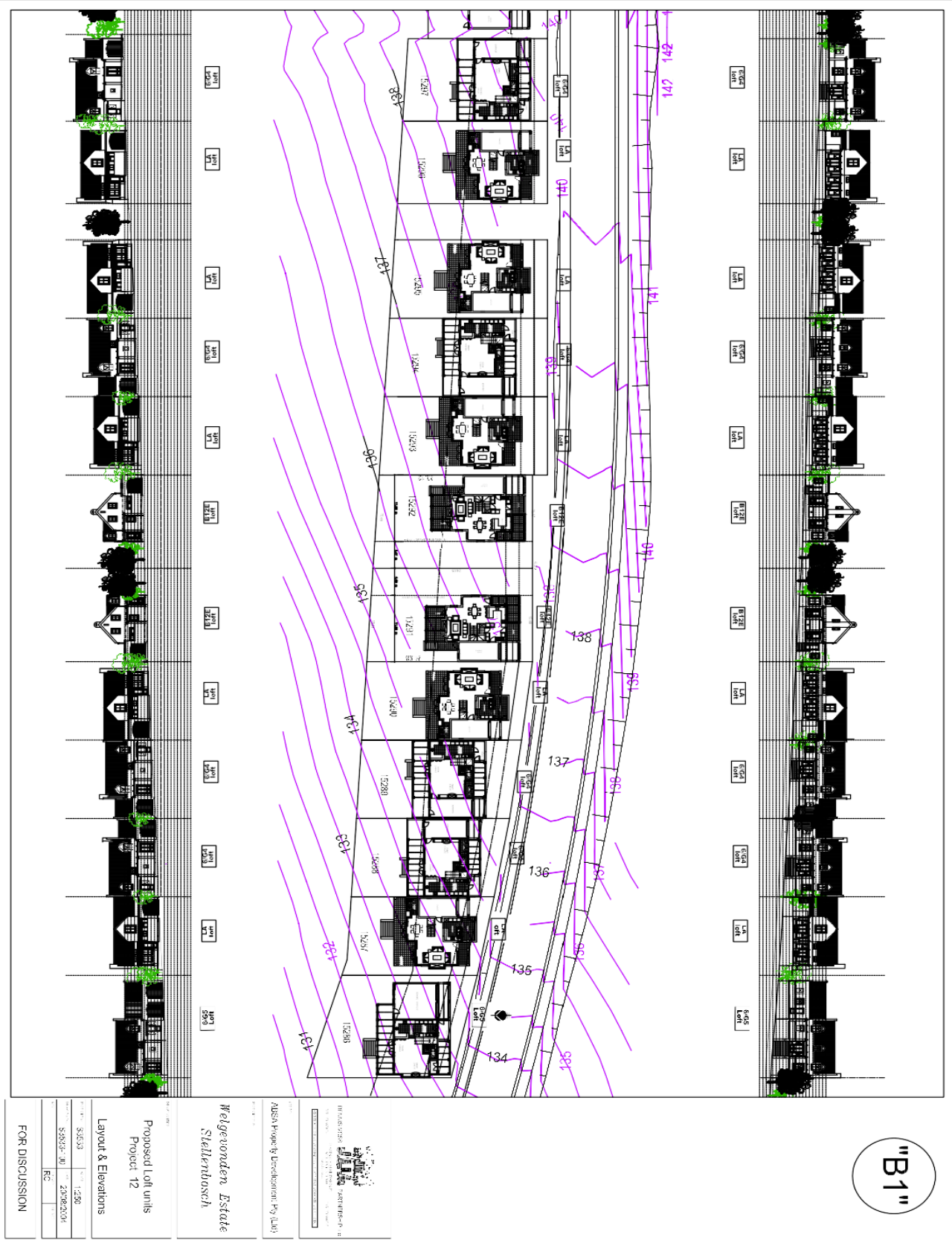
- 7.1 Door openings shall have vertical proportions. Glazed external doors shall be traditional French doors of 1 213 mm to 1 612 mm maximum width. No "trellidoor" type expanding security doors will be permitted externally. Doors and frames shall be painted white or black ('Plascon' colour code RAL 9005) or white and black combined. Garage doors shall be single doors and may not exceed 2 440 mm in width.

8. **BOUNDARY WALLS, FENCES AND SCREENS**

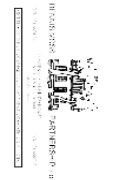
- 8.1 No "Vibracrete" type pre-cast concrete boundary walls will be allowed.
- 8.2 All boundary walls to be in accordance with the general approved Architectural Design Guidelines for Welgevonden Development, Area 2.

9. GENERAL

- 9.1 Apart from stub stacks, all plumbing pipes and air conditioning units shall be enclosed.
- 9.2 Wash lines, open storage and dog-kennels shall be enclosed. Refuse container enclosures shall be incorporated behind boundary walls.
- 9.3 These design guidelines are supplementary, and it is required that all requirements of the National Building Regulations as well as any statutory conditions required by the local authority shall be met.



"B1"



ALSO PROJECT DEVELOPMENT BY LAND

Welgevonden Estate Stellenbosch

Proposed Loft units
Project 12
Layout & Elevations

DATE	NO.	DESCRIPTION
3/15/23	1	1:200
3/28/23	2	200% 2:004
PC		

FOR DISCUSSION

"B2"

ground floor plan

loft

section a-a

south elevation

north elevation

east elevation

west elevation

ref no 152286

Weygewonden Estate
Stellenbosch

Proposed Loft units
 Project 12
 erf no. 152286
 unit type 6/G5

ARCHITECT
 JENKINS ROSS ARCHITECTS
 111 ROSS STREET, STERKSTROOM, STERKSTROOM
 7461, WESTERN CAPE
 TEL: 021 959 3101 FAX: 021 959 3104
 WWW.JENKINSROSS.COM

DEVELOPER
 AUSA Property Development Pty (Ltd)

DRAWING NO.
 S3533

SCALE
 1:100

DRAWING DATE
 2008/2004

DRAWING TYPE
 RC

FOR DISCUSSION

"B4"

ground floor plan

loft

south elevation

north elevation

east elevation

west elevation

PROPOSED LOFT UNITS

Project 12

ERVEN 15297 - 15294 - 15289 - 15288

Loft unit type 6/G4

SCALE: 1:1

FOR DISCUSSION

"B5"

ground floor plan

loft

section a-a

section b-b

art no. 15292

east elevation

west elevation

north elevation

south elevation

FOR DISCUSSION

DATE: 11/10/2024

PROJECT: Proposed Loft units

PROJECT NO: 12

CLIENT: WELGEVONDEN ESTATE

LOFT UNIT TYPE: B12E

DATE: 11/10/2024

PROJECT: Proposed Loft units

PROJECT NO: 12

CLIENT: WELGEVONDEN ESTATE

LOFT UNIT TYPE: B12E

DATE: 11/10/2024

PROJECT: Proposed Loft units

PROJECT NO: 12

CLIENT: WELGEVONDEN ESTATE

LOFT UNIT TYPE: B12E



PLANNING GUIDELINES FOR WELGEVONDEN ESTATE - AREA 1 (area formerly known as existing Green Oaks)

Note:- Planning Guidelines approved as per Architectural Guidelines Document dated 1 October 2003 paragraph 11.0 unchanged.

11.0 PLANNING GUIDELINES

11.1. ZONING

Zoning for Welgevonden Area 1 is Group Housing.

11.2. BUILDING LINES

11.2.1. Group Housing

- a) Building lines as recorded in the Zoning Scheme Regulations for the Stellenbosch Municipality (July 1996 edition) is applicable.
- b) A zero building line for placing the garage and/or carport on one of the two side boundaries will be allowed with the condition that the other side building line will be 1,5m from the boundary.

11.3. BUILDING HEIGHT RESTRICTION

11.3.1. Group Housing

- a) Building height may not exceed 2 storeys.

11.4. COVERAGE

11.4.1. Group Housing

- a) Coverage: - 50% of erf size.



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